

April 16, 2024

City of Alexandria Planning and Zoning Commission

Staff Comments, Findings, and Recommendations

Issue to be heard: Tuesday May 7, 2024 at 7:00 PM (EST)
8236 W. Main St.
Alexandria, KY 41001

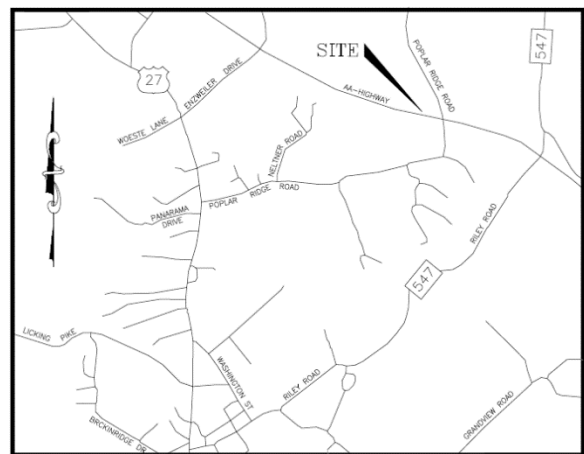
The Alexandria Planning and Zoning Commission will hold a Public Hearing for the following case:

Case: PZ-24-011

Applicant: KTT PROPERTIES, LLC

Location: AN APPROXIMATELY 10 ACRE
PARCEL LOCATED AT THE
INTERSECTION OF POPLAR
RIDGE ROAD AND THE AA
HWY

Request: APPROVAL OF SITE
DEVELOPMENT PLANS FOR
KUBOTA DEALERSHIP WITH A
VARIANCE FOR A GRAVEL
EQUIPMENT LOT



Information concerning this case was available for review at the Campbell County & Municipal Planning & Zoning Office, 1098 Monmouth Street, Suite 343, Newport, KY. Monday-Friday during normal business hours.

Overview:

The applicant intends to construct a Kubota Dealership on a ten (10) acre site located at the intersection of AA Highway (SR 9) and Poplar Ridge Road. Additionally, they are requesting a variance to allow for a rear equipment/service lot to be paved with gravel.

Regulatory Considerations:

Alexandria Zoning Ordinance - ARTICLE 2 DEFINITIONS

SITE PLAN: A plan prepared to scale showing accurately and with complete dimensions, the location of all proposed uses and all site development features for a specific site. A site plan addresses physical design, location of structures, access management, interior vehicular and pedestrian access, stormwater management, landscaping, signage, provision of all required improvements, and the interrelationship of the various site plan components. A site plan is typically reviewed and approved prior to the issuance of a permit for construction.

Alexandria Zoning Ordinance - ARTICLE 3 GENERAL REGULATIONS

Section 3.14 EXCEPTIONS AND MODIFICATIONS

D. Request for Variances for Subdivisions - An applicant for approval of a subdivision plat may elect to have the Planning Commission hear any requests for variances proposed in the development. The request for the planning commission to consider the variance and the application for the variance shall be submitted at the time of filing the preliminary subdivision plat. In such cases, the Planning Commission is hereby empowered to hear and finally decide applications for variances pursuant to KRS 100.281 (6). The planning commission in such circumstances shall assume all powers and duties otherwise exercised by the board of adjustment pursuant to KRS 100.281 (7) and Article 15 of the Alexandria Zoning Ordinance. The application for a variance shall be considered at the same public hearing set for the subdivision.

Section 3.18 SCREENING AREA - Screening areas shall be provided for the purpose of minimizing the friction between incompatible land uses and improving the aesthetic and functional quality of new development. All screening areas shall be approved and inspected by the Zoning Administrator (or Planning Commission, where required by this ordinances) for compliance with a submitted development or site plan as regulated by the applicable requirements of SECTIONS 3.20 and 3.21 of this ordinance.

- A. Screening areas shall be designed, provided, and maintained according to the following:
1. Where natural vegetation and/or topographical conditions exist prior to development, every effort shall be made to retain said condition, particularly where it provides a natural screening or buffer from adjacent properties. In such cases, additional screening may not be required, provided that provision is made for maintenance of such condition to the satisfaction of the City of Alexandria.
 2. Wherever vegetative screening is required, the specific requirements contained in Article 10 shall be followed.
 3. Whenever structural screening is required, the specific requirements contained in Article 8 shall be followed.

Section 3.20 DEVELOPMENT PLAN REQUIREMENTS - All applications for zoning map amendments shall require the submission of a development plan. In accordance with the applicable provisions of KRS 100, the development plan shall be followed. The planning commission, at its discretion, may waive the requirement for the

submission of a development plan, if the commission finds that the proposed development poses a minimal impact to the subject property and adjacent properties.

This site does not include a zone map amendment.

Section 3.21 SITE PLAN REQUIREMENTS - *No building shall be erected or structurally altered nor shall any grading take place on any lot or parcel in zones where a site plan is required, except in accordance with the regulations of this Section and an approved site plan as hereinafter required. Before a permit is issued for construction, one (1) copy of the site plan of the area at a scale no smaller than one (1) inch to one hundred (100) feet shall be filed with the Building Inspector, and two (2) copies with the Zoning Administrator. The site plan shall identify and locate, where applicable, the following:*

- A. Total area in development project including legal description.
- B. Present zoning of property in question and adjacent properties.
- C. All public and private rights-of-way and easement lines.
- D. The existing and proposed finished topography.
- E. All housing units.
- F. Location, height, arrangement and identification of all non-residential buildings and uses.
- G. All common open space areas, including recreational facilities.
- H. Landscaping features.
- I. Location of signs indicating their orientation, size and height.
- J. All utility lines and easements: Water, Sanitary Sewer, Storm Sewer, Other
- K. Location of all off-street parking, loading and/or unloading, and driveway areas
- L. Circulation System
- M. Provisions for control of erosion, hillside slippage and sedimentation
- N. Lighting plan
- O. Dumpster and/or refuse storage locations
- P. Name, address, and telephone number of owner/developer/engineer/architect.
- Q. The date of preparation of such plan
- R. A schedule of development
- S. Exterior elevations of all proposed buildings

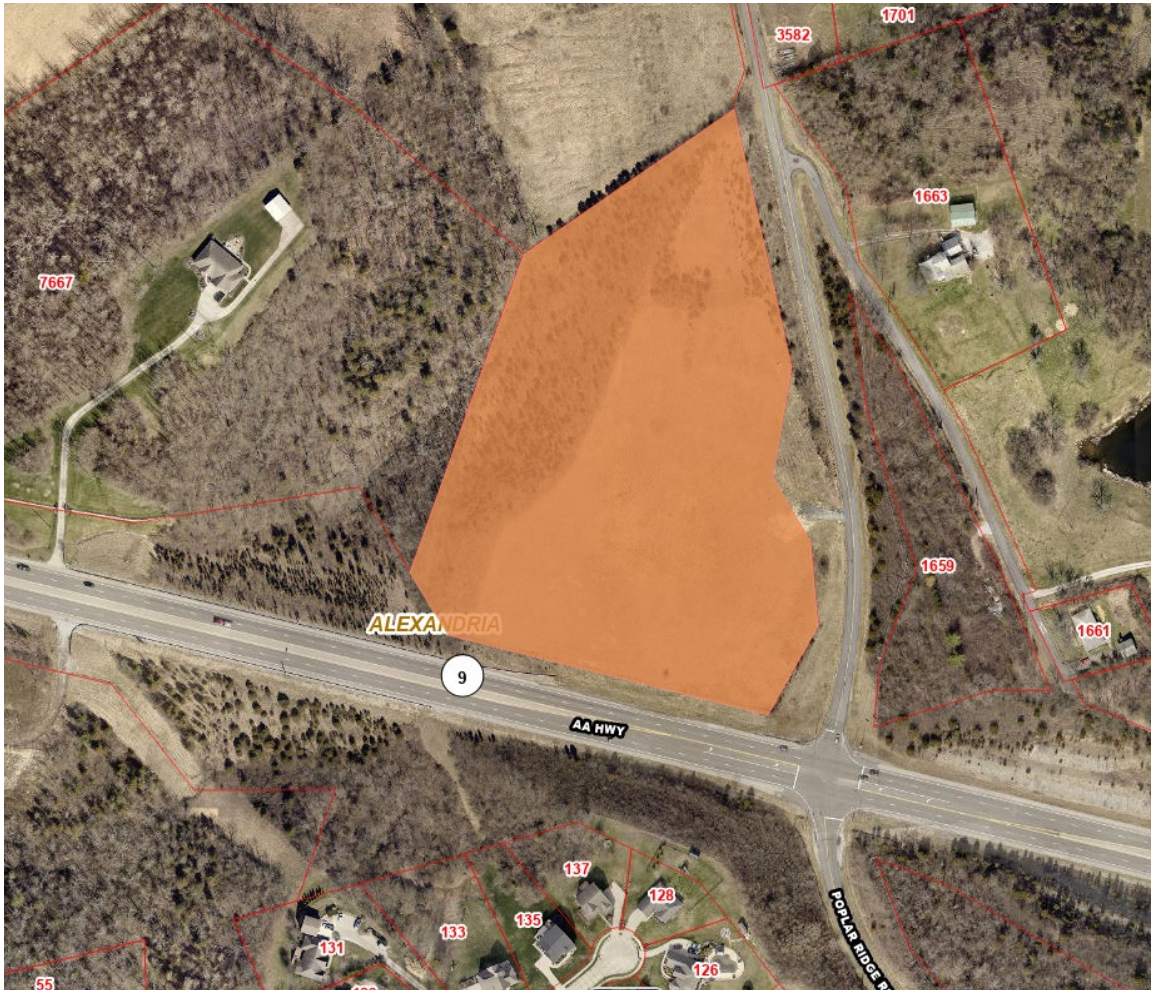
Kentucky Revised Statutes (KRS)

KRS 100.243 Findings necessary for granting variances. *(1) Before any variance is granted, the board must find that the granting of the variance will not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or a nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations. In making these findings, the board shall consider whether: (a) The requested variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone; (b) The strict application of the provisions of the regulation would deprive the applicant of the reasonable use of the land or would create an unnecessary hardship on the applicant; and (c) The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought. (2) The board shall deny any request for a variance arising from circumstances that are the result of willful violations of the zoning regulation by the applicant subsequent to the adoption of the zoning regulation from which relief is sought.*

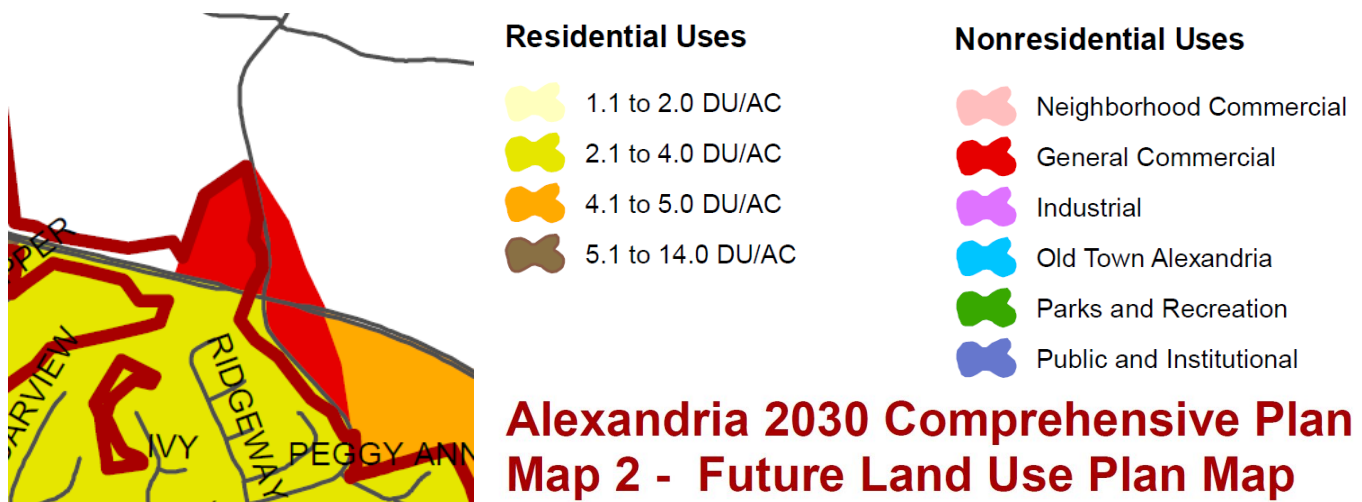
Site Overview:

The site is currently undeveloped. In 2004, fly-ash fill was placed on the site to prepare it for future development. The site was annexed into the City of Alexandria and changed to the Highway Commercial (HC) Zone.

The property directly to the east and west on the north side of the AA Highway are within unincorporated Campbell County and zoned Rural Residential Estate (R-RE). Property to the south of AA Highway is zoned R-1D.



The Existing Land Use Map within the Alexandria 2030 Comprehensive Plan shows the area as undeveloped. The Future Land Use Map indicates a projected future use of the site as “General Commercial”.



The City of Alexandria Zoning Ordinance, Section 4.18 (HC) HIGHWAY COMMERCIAL ZONE identifies relevant permitted uses including (excerpted):

2. Automobile, motorcycle, and truck sales, new or used
3. Automobile and Truck Rental
4. Automotive and Truck Service and Repair
8. Boat and other marine equipment sales and service, new and used
9. Building supplies
25. Garden and Landscaping Supplies
28. Hardware Stores
55. Tool and Equipment Rental

The AREA AND HEIGHT REGULATIONS for the HC Zone includes:

1. Minimum Lot Area – Ten thousand (10,000) square feet.
2. Minimum Lot Width at Building Setback Line – Seventy (70) feet.
3. Minimum Front Yard Depth – Fifty (50) feet.
4. Minimum Side Yard Width on Each Side of Lot – No restrictions except when adjacent to street, road, highway, or other right-of-way when required width shall be the same as required for a minimum front yard depth in this zone.
5. Minimum Rear Yard Depth – Fifteen (15) feet.
6. Maximum Building Height – Forty (40) feet.

Relevant OTHER DEVELOPMENT CONTROLS with the HC Zone include:

2. No outdoor storage of any objectionable material (Useable or waste) shall be permitted in this zone, except within enclosed containers, and all dumpsters, etc. shall be screened from adjacent property.
3. No lighting shall be permitted which would glare from this zone onto any street, road, highway, deeded right-of-way or into any adjacent property.
4. No motor vehicle which is abandoned, nonfunctional, in a state of disrepair, or lacking in a valid license, shall be stored in excess of seventy-two (72) hours unless it is in a completely enclosed building. Any trailer with three (3) or more axles; any commercial, industrial, and/or similar type trailer used for storage; and heavy, industrial, and/or similar type equipment which is abandoned, nonfunctional, or in a state of disrepair shall not be permitted outside of a completely enclosed building on any lot or parcel of land. Any agricultural implement and/or similar type equipment or apparatus which is abandoned, nonfunctional, or in a state of disrepair shall not be permitted outside of a completely enclosed building on any lot or parcel of land.
5. Where any yard of any use permitted in this zone abuts property in a residential zone, a minimum of at least a ten (10') foot wide screening area as regulated by SECTION 3.18 of this ordinance shall be required.
6. A development and/or site plan shall be required of any use permitted in this (HC) zone.
7. No use producing objectionable odors, noise, or dust shall be permitted within five hundred (500) feet from the boundary of any residential zone.
8. Off-street parking and loading and/or unloading areas, located in front and side yard areas in this (HC) zone provided that no off-street parking areas shall be closer than fifteen (15) feet to the street, road, highway or right-of-way line or the boundary line of any adjacent district. This fifteen (15) foot area shall remain open and unobstructed except by items specifically permitted in yard areas in this ordinance.
10. All business activities permitted within this zone shall be conducted within a completely enclosed building with the exception of the following:
 - a. Off-Street parking and loading and/or unloading areas,
 - b. Gasoline pumps,
 - c. New and used car sales,
 - d. Car washes,
 - e. Sidewalk sales and displays as regulated by Section 3.31 of this Official Zoning Ordinance,
 - f. Vending machines, and
 - g. Outdoor merchandising and display and regulated by Section 3.32 of this Official Zoning Ordinance. Provided, however, that the outdoor merchandising and display area for any business may occupy no more square feet of space than an area equal to ten percent (10%) of the square feet of space of the interior, under-roof, enclosed section of the business premises....; but the ten percent (10%) outdoor merchandising and display area limitation does not apply to an Agricultural Equipment, Supplies and Services ...

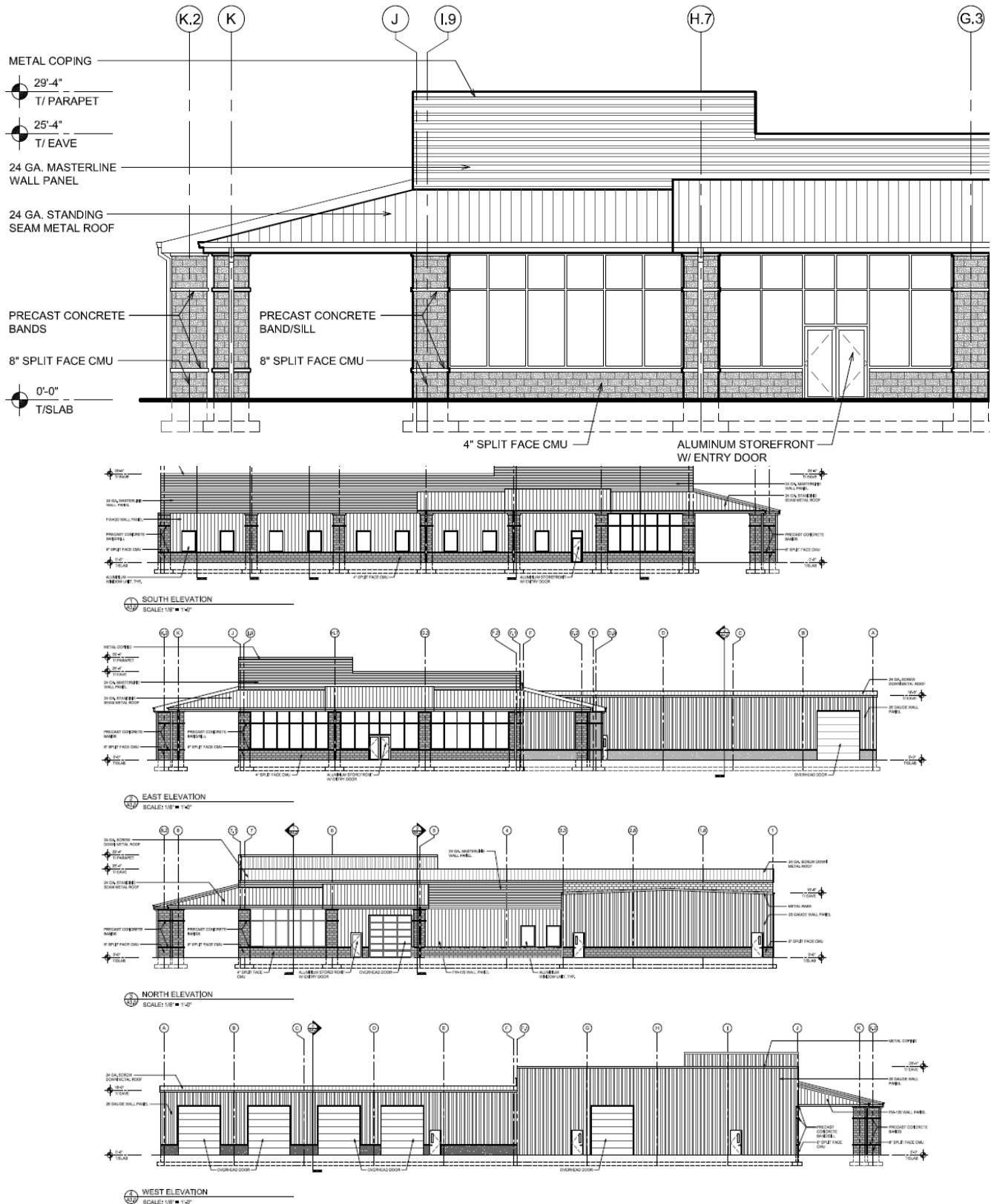
Site Development Plan:

The site development plan was reviewed for consistency with Section 3.21 of the Zoning Ordinance. Plans were submitted both in paper and electric form and comply with the minimum scale. A copy of the plans is attached for your reference. Larger sizes are available upon request.



- A. Total area in development project is ten (10) acres. Survey data is included on the plan. The corresponding legal description of the parcel was obtained from the Campbell County Clerk records.
- B. Present zoning of the property is Highway Commercial (HC) as indicated on the plan. Adjacent parcels were verified from City / County zoning records.
- C. The proposed site plan meets Highway Commercial (HC) zone dimensional requirements;
- D. All public and private rights-of-way and easement lines located on and adjacent to the property which are proposed to be continued, created, relocated or abandoned are indicated within the site plans. The KYTC access control limits are indicated.
- E. Existing topography and the proposed finish grade of the development area shown by contours with intervals not larger than two (2) feet is indicated.
- F. No housing is proposed on the site.
- G. A 17,800 square-foot building is proposed as the primary use of the site. Uses will include office space, showroom / retail, service bays and supporting areas.

Exterior elevations of all proposed buildings including exterior facade materials have been provided.



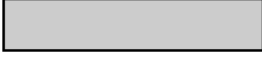
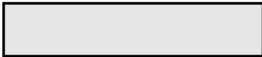


- H. No common open space or recreation areas are proposed.
- I. A landscape plan was included.
- J. Signage is anticipated but not included in the plan. This must be permitted separately.
- K. All existing and proposed water lines, sanitary sewer lines, and stormwater facilities are shown and are subject to review by the applicable agency. Sanitary sewer is proposed to be extended under the AA Highway.
- L. A drainage plan of the area is provided. The existing stormwater detention is under review by SD1.
- M. Location and dimension of all curb cuts, driving lanes, off-street parking and loading and/or unloading areas are shown on the plans. Pavement types vary per plan.



SITE PLAN LEGEND

A gravel is proposed for the equipment lot, located to the north of the building.

The surface of this lot will require a variance.

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL 3/C-500)
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT (SEE DETAIL 2/C-500)
	PROPOSED HEAVY DUTY CONCRETE (SEE DETAIL 1/C-500)
	PROPOSED GRAVEL AREA (SEE DETAIL 13/C-500)

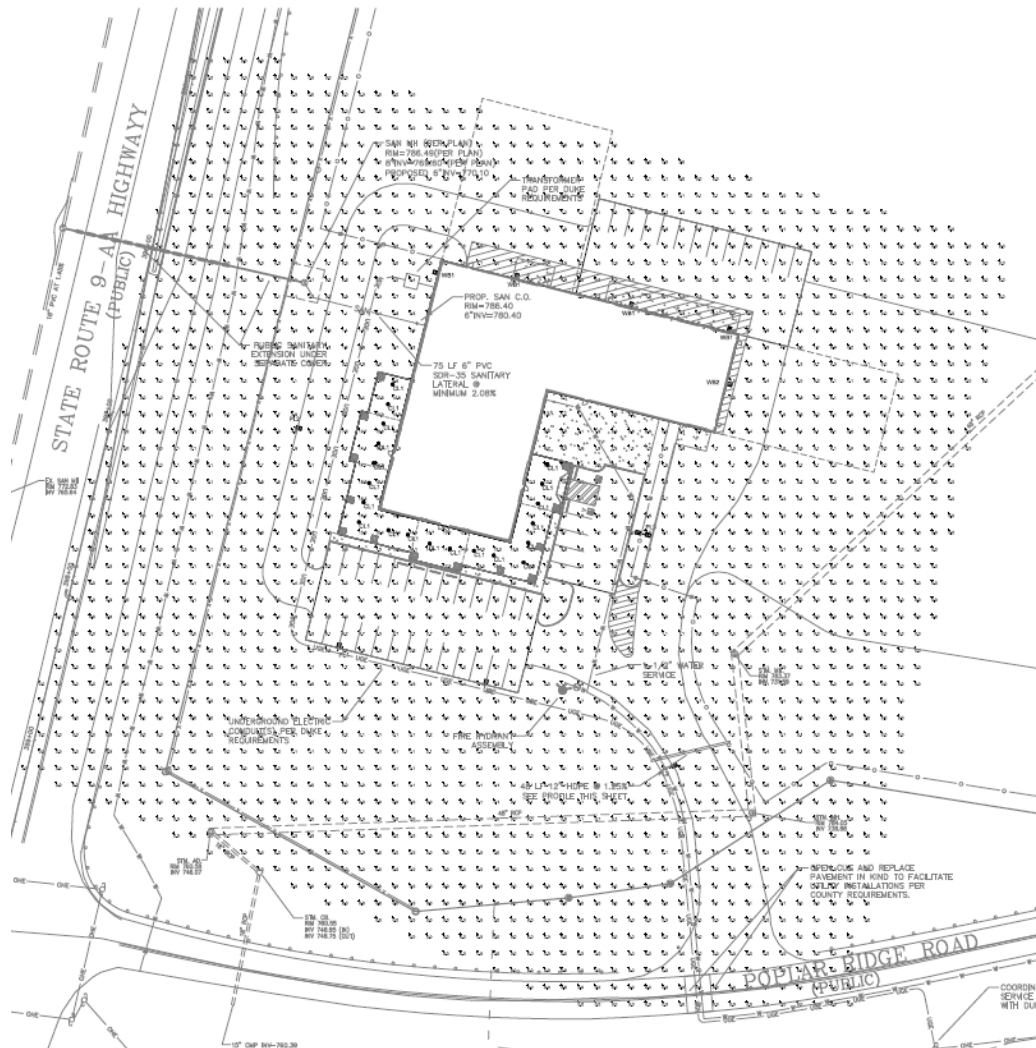
- N. The required parking was determined based upon the use of the structure. Forty-four (44) spaces are required. Forty-five (45) spaces will be provided exclusive of the equipment lot.
- O. Circulation System:

BUILDING AREA	S.F.	STALLS	REQUIRED PER CODE
OFFICE SPACE	970	4	1 STALL PER 250 S.F.
SHOWROOM/RETAIL	5,900	6	1 STALL PER 1,000 S.F.
SERVICE AREA (4 BAYS, 20 EMPLOYEES)	5,350	28	2 STALLS PER BAY PLUS 1 PER EMPLOYEE LARGEST
STORAGE/HALL/RESTROOM/MECHANICAL	5,580	6	1 STALL PER 1,000 S.F.
TOTAL SQUARE FOOTAGE	44 STALLS	TOTAL STALLS REQUIRED
STALLS PROVIDED:		ADA ACCESSIBLE PARKING NOTES:	
ADA ACCESSIBLE PARKING SPACES	2	2 ACCESSIBLE SPACES REQUIRED AND PROVIDED	
REGULAR PARKING SPACES	43	1 OF WHICH MUST BE VAN ACCESSIBLE	
TOTAL SPACES PROVIDED:	45		

1. Pedestrian walkways are indicated along the building as indicated on the plan.
2. No new streets are proposed. Parking area layout is indicated on the plans.

P. An erosion and sediment control plan is indicated on sheet C-401.

Q. A lighting plan has been provided.



Lighting Plan excerpt. Complete plans available by request.

- R. Dumpster storage location with provisions for screening were not indicated on the site plan. Staff recommends reinforced pavement and enclosed dumpster area be identified.
- S. Contact information for civil engineer and developer is provided.
- T. The date of preparation of the plan is shown as 03/08/2024.

- U. A schedule of development is not provided, but utility and building plans are under review.

Request for Variance: The applicant is requesting variance on the pavement type for and enclosed equipment lot. The need is for a gravel lot as compared to a concrete or asphalt lot. The applicant offers the following statement:

Supporting Information for Variances:

- A. *That the proposed use at this location is necessary or desirable to provide a service or facility that will contribute to the general well-being of the neighborhood or community. **Based upon feedback received, we believe this will be a very desirable facility for this neighborhood and community.***
- B. *That the proposed use will NOT be detrimental to the health, safety or overall welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity. **The proposed facility provides a desired product to the neighborhood and will not be detrimental to health, safety or overall welfare of persons or property.***
- C. *That such use will comply with any regulations in the Zoning Ordinance and Subdivision Regulations for such use. **The proposed use complies with the regulations in the Zoning Ordinance.***
- D. *That the requested variance/waiver arises from special existing circumstance, which does not generally apply to land in the general vicinity. **The requested variance is to utilize a gravel pavement area within the fenced area of the property (not open to customers/public) due to the varying weights of vehicles that will use this area, we would like the flexibility of being able to easily repair this area as needed.***
- E. *That the manner in which the application of the provisions of the Zoning Ordinance would deprive the applicant of a reasonable use of the land, or would create unnecessary hardship for the applicant. **The requirement to pave this non-public area would be a hardship for us as we would have to design the entire pavement area to withstand the large vehicles that may not use the entire area.***
- F. *That the variance will not allow unreasonable conditions of the requirements of zoning regulations and will not alter the essential character of the neighborhood. **The requested variance to use a gravel pavement in this non-public area will not allow unreasonable conditions nor alter the essential character of the neighborhood as we plan to keep this area in a good maintainable condition for our business use.***
- G. *That granting the waiver/variance will not confer on the applicant any special privilege that is not conferred by this ordinance to other land, structures or buildings in the same zone. **Granting this request will not confer any special privileges as several other local businesses utilize a gravel paved area within fenced areas like storage yards for the varying sized vehicle loads for the flexibility of use and easy repairs.***

Staff concurs with the statements provided by the applicant.

The Planning Commission may assume the powers of the Board of Adjustments when reviewing a site development plan.

Staff concludes that based upon the location, use and enclosure of the lot that granting of a variance for the pavement type to gravel:

- 1) will not adversely affect the public health, safety or welfare,
- 2) will not alter the essential character of the general vicinity,
- 3) will not cause a hazard or a nuisance to the public, and
- 4) will not allow an unreasonable circumvention of the requirements of the zoning regulations.

Staff also concludes that the requested pavement variance arises from special circumstances which do not generally apply to land in the general vicinity, or in the same zone; (b) The strict application of the provisions of the regulation would create an unnecessary hardship on the applicant through excess maintenance and pavement strength; and (c) The circumstances are the result of actions of the applicant taken subsequent to the adoption of the zoning regulation from which relief is sought.

Summary of Applicant's Request:

The applicant has submitted a request for approval of site plan with a variance for an enclosed gravel equipment lot.

Staff Recommendation:

To approve the proposed site development plans with a variance for an enclosed gravel equipment lot subject to final engineering reviews from the city engineer, utility agencies and KYTC.

Supporting Information / Basis for Recommendation:

1. The plan has been reviewed and found to be in general compliance with Article IX, Section 9.19.
2. The proposed site development plan is consistent with the Zoning Ordinance Article X, Section 10.8.
3. Proper legal notice has been given for a site development plan.
4. The authorization of the variances would not adversely affect the public health, safety or welfare, will not alter the essential character of the general vicinity, will not cause a hazard or nuisance to the public, and will not allow an unreasonable circumvention of the requirements of the zoning regulations.
5. Planning commission shall assume all powers and duties otherwise exercised by the board of adjustment pursuant to KRS 100.231, 100.233, 100.237, 100.241, 100.243, 100.247, and 100.251.

If you have any questions concerning this report, please feel free to contact Campbell County Planning and Zoning at 859-292-3880. Thank you.

Respectfully submitted,



Cindy Minter, AICP CFM
Director

ALEXANDRIA KUBOTA DEALERSHIP

CIVIL SITE PLANS POPLAR RIDGE ROAD, CITY OF ALEXANDRIA CAMPBELL COUNTY, KENTUCKY

LEGEND	
—OHE—	OVERHEAD ELECTRIC
—UGE—	UNDERGROUND ELECTRIC
□	ELECTRIC BOX
⊙	ELECTRIC MANHOLE
⊙	ANCHOR POLE
☆	LIGHT POLE
⊙	UTILITY POLE
⊙	GROUND LIGHT
—OTE—	OVERHEAD TELEPHONE
—UTE—	UNDERGROUND TELEPHONE
□	TELEPHONE BOX
⊙	TELEPHONE MANHOLE
●	BOLLARDS
+	SION
⊙	MAIL BOX
—W—	WATER LINE
⊙	WATER VALVE
⊙	FIRE HYDRANT
⊙	WATER METER
⊙	WATER VALVE BOX
⊙	WATER VALVE MANHOLE
⊙	POST INDICATOR VALVE
—G—	GAS LINE
⊙	GAS METER
⊙	GAS VALVE
⊙	GAS VALVE BOX
⊙	UTILITY MANHOLE
⊙	SEWER MANHOLE
⊙	STORM MANHOLE
---	DITCH OR CREEK
—	GUARDRAIL
—X—	FENCE LINE
—XX—	R/W FENCE LINE

ZONING INFORMATION

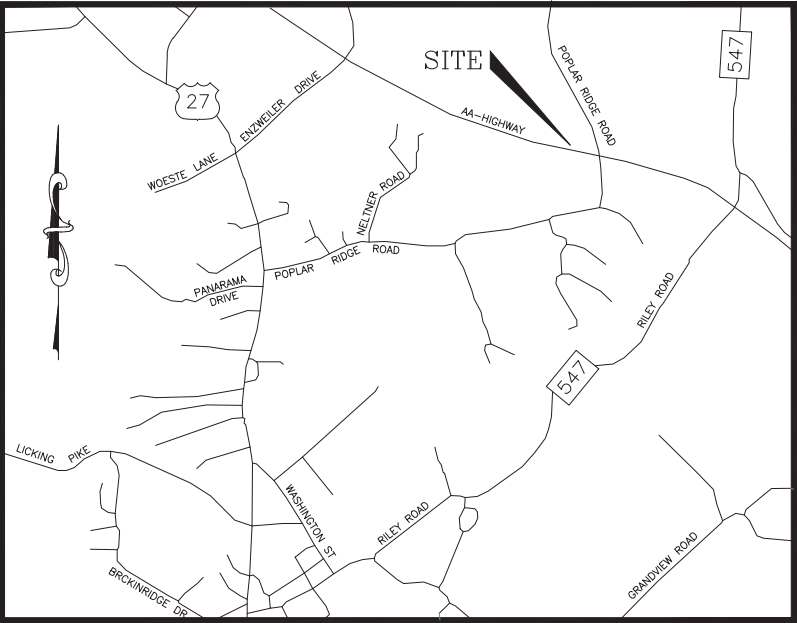
EXISTING ZONING:	HC (HIGHWAY COMMERCIAL) ZONE
	REQUIRED:
MINIMUM LOT AREA:	10,000 SF
MINIMUM LOT FRONTAGE:	SEVENTY (70) FEET
MINIMUM FRONT YARD DEPTH:	FIFTY (50) FEET
MINIMUM SIDE YARD WIDTH:	* SEE NOTE
MINIMUM REAR YARD DEPTH:	FIFTEEN (15) FEET
MAXIMUM BUILDING HEIGHT:	FORTY (40) FEET

* NO RESTRICTIONS EXCEPT WHEN ADJACENT TO STREET, ROAD, HIGHWAY, OR OTHER RIGHT-OF-WAY WHEN REQUIRED WIDTH SHALL BE THE SAME AS REQUIRED FOR A MINIMUM FRONT YARD DEPTH IN THIS ZONE. WHEN BUILDINGS ABUT EACH OTHER, FIREWALL CONSTRUCTION, AS REQUIRED BY THE CITY'S BUILDING CODE, SHALL BE REQUIRED. IN THE EVENT A SIDE YARD IS PROVIDED, IT SHALL NEVER BE LESS THAN FIFTEEN (15) FEET.

PARKING SUMMARY

BUILDING AREA	S.F.	STALLS	STALLS REQUIRED PER CODE
OFFICE SPACE	970	4	1 STALL PER 250 S.F.
SHOWROOM/RETAIL	5,900	6	1 STALL PER 1,000 S.F.
SERVICE AREA (4 BAYS, 20 EMPLOYEES)	5,350	28	2 STALLS PER BAY PLUS 1 PER EMPLOYEE LARGEST
STORAGE/HALL/RESTROOM/MECHANICAL	5,580	6	1 STALL PER 1,000 S.F.
TOTAL SQUARE FOOTAGE	*****	44 STALLS	TOTAL STALLS REQUIRED
STALLS PROVIDED:			
ADA ACCESSIBLE PARKING SPACES	2		ADA ACCESSIBLE PARKING NOTES:
REGULAR PARKING SPACES	43		2 ACCESSIBLE SPACES REQUIRED AND PROVIDED
TOTAL SPACES PROVIDED:	45		1 OF WHICH MUST BE VAN ACCESSIBLE

⊙ BASIS OF ELEVATION:
THE STATION IS A BRONZE NKAPC CONTROL MARK STAMPED "NKC124AZ 2002" SET ON A 12" DIAMETER 3" DEEP CONCRETE POST FLUSH WITH THE GROUND. ELEV. 623.80
STATION IS LOCATED 1.25 MI. SOUTH OF CAMP SPRINGS, EAST OF KY-9 (AA HWY.). FROM THE JUNCTION OF NB KY-9 (AA HWY) WITH THE KY-9 OFF/ON RAMP TO/FROM EB KY-547 (ALEXANDRIA-4 MILE ROAD) GO 0.25 MI. NW ON KY-9 TO THE STATION ON THE RIGHT.



VICINITY MAP
N.T.S.

- C-000 – TITLE/VICINITY MAP
- C-001 – SPECIFICATIONS
- C-100 – EXISTING CONDITIONS/DEMO PLAN
- C-200 – SITE LAYOUT PLAN
- C-300 – UTILITY PLAN
- C-400 – GRADING PLAN
- C-401 – EROSION & SEDIMENT CONTROL PLAN
- C-402 – EROSION & SEDIMENT CONTROL DETAILS
- C-500 – SITE DETAILS
- C-501 – SITE DETAILS

GENERAL NOTES:

JASON BURLAGE OF SD1 IS TO BE CONTACTED AT 859-578-6892 AT LEAST 72 HOURS PRIOR TO ALL LAND DISTURBING ACTIVITIES.

DOUG MALONE OF SD1 IS TO BE CONTACTED AT 859-578-6749 AT LEAST 72 HOURS PRIOR TO INSTALLATION OF THE PUBLIC SANITARY SEWER.

BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THE PLANS ARE MINIMUM. THE CONTRACTOR SHALL REVISE AND PROVIDE ADDITIONAL BMP'S AS DEEMED NECESSARY PER SECTION 700 OF THE SANITATION DISTRICT NO. 1'S RULES AND REGULATIONS.

STORM WATER RUNOFF FACILITY MAINTENANCE NOTE:
THE OWNER OF THE PROPERTY THAT CONTAINS THE EXISTING DETENTION POND IS RESPONSIBLE FOR ITS PROPER MAINTENANCE.
THE CURRENT OWNER IS KTT PROPERTIES LLC



NOTE:
UNDERGROUND UTILITIES ARE SHOWN BASED ON ABOVE GROUND OBSERVATIONS AND CONSTRUCTION PLANS PROVIDED TO CARDINAL ENGINEERING AND MAY NOT BE COMPLETE OR ACCURATE.
CONTRACTOR TO VERIFY LOCATION AND USE CAUTION WHEN EXCAVATING IN AREAS OF SUSPECTED BURIED UTILITIES.

CONTACTS

ZONING:
CAMPBELL COUNTY PLANNING, ZONING
AND BUILDING INSPECTION (FOR ALEXANDRIA)
1098 MONMOUTH STREET, SUITE 343
NEWPORT, KENTUCKY 41071
(859) 292-3880

WATER:
NORTHERN KENTUCKY WATER DISTRICT
2835 CRESCENT SPRINGS ROAD
P.O. BOX 18640
ERLANGER, KY 41018
(859) 578-9898

SEWER:
SANITATION DISTRICT NO. 1
1045 EATON DRIVE
FORT WRIGHT, KENTUCKY 41011
(859) 578-7450

ELECTRIC:
DUKE ENERGY
1262 COX ROAD
ERLANGER, KENTUCKY 41018
(513) 287-3589

GAS:
DUKE ENERGY
1262 COX ROAD
ERLANGER, KENTUCKY 41018
(859) 287-5408

TELEPHONE:
CINCINNATI BELL TELEPHONE COMPANY
201 EAST FOURTH STREET
103-1175
CINCINNATI, OHIO 45202
(513) 566-7185

CABLE TELEVISION:
SPECTRUM COMMUNICATIONS
7906 DIXIE HIGHWAY
FLORENCE, KENTUCKY 41076
(888) 735-0300

OTHER UTILITIES:
UNITED UTILITIES PROTECTION
(800) 752-6007



CARDINAL
ENGINEERING
LAND SURVEYING
ONE MOORE ROAD
WILDER, KENTUCKY 41071
PHONE (859) 581-9800

WEBSITE: <http://www.cardinalengineering.net>

CIVIL SITE PLANS
ALEXANDRIA KUBOTA DEALERSHIP
POPLAR RIDGE ROAD, CITY OF ALEXANDRIA
CAMPBELL COUNTY, KENTUCKY

KTT PROPERTIES, LLC
130 MT. ZION ROAD
FLORENCE, KY 41042

PROJECT:

CLIENT:

JOB LOG

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3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE COMMONWEALTH OF KENTUCKY DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATION (AND THE CITY OF ALEXANDRIA THERETO).
2. VERIFY EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE STARTING CONSTRUCTION. INFORM OWNER OF ANY DISCREPANCIES.
3. APPROPRIATE UTILITY COMPANIES SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO BREAKING GROUND FOR THE PURPOSE OF VERIFYING BY FIELD INSPECTION THE EXACT LOCATION OF UNDERGROUND UTILITIES.
4. COMPACTED FILLS ARE TO BE MADE A MINIMUM OF THREE (3) FEET ABOVE THE CROWN OF ANY PROPOSED SEWER PRIOR TO CUTTING OF TRENCHES FOR PLACEMENT OF SAID SEWERS. ALL FILLS SHALL BE CONTROLLED, COMPACTED, AND INSPECTED BY AN APPROVED TEST LABORATORY, OR AN INSPECTION FROM THE APPROPRIATE GOVERNMENTAL AGENCY. A COPY OF THESE TESTING REPORTS SHALL BE SUBMITTED TO THE SANITATION DISTRICT NO. 1 AND THE ENGINEER'S OFFICE.
5. NO PART OF ANY DRIVEWAY OR DRIVEWAY APPROACH WITHIN THE STREET EASEMENT SHALL BE INSTALLED CLOSER THAN FIVE (5) FEET TO ANY INLET, UTILITY POLE, OR GUY WIRE ANCHOR AND FIVE (5) FEET FROM ANY FIRE HYDRANT.
6. NOT USED.
7. NOT USED.
8. UNLESS OTHERWISE SPECIFIED, STORM SEWER MANHOLES ARE SANITATION DISTRICT NO. 1 DETAIL NO. 1 DETAIL STM-012.
9. ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE, AND ARE TO REMAIN SO, SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL IN ACCORDANCE WITH SANITATION DISTRICT NO. 1'S BEST MANAGEMENT PRACTICES.
10. NOT USED..
11. ALL UNDERGROUND UTILITIES MUST BE INSTALLED PRIOR TO INSTALLATION OF PAVEMENT AND CURB AND GUTTER.
12. CLSM (CONTROLLED LOW STRENGTH MORTAR) SHALL BE PER KYTC SPECIFICATIONS-SECTION 601.
13. CONTRACTOR TO VISIT SITE & BECOME FAMILIAR WITH EXISTING CONDITIONS PRIOR TO SUBMITTING BIDS.
14. CONTRACTOR SHALL NOTIFY KENTUCKY UTILITIES PROTECTION SERVICE AND ALL ENTITIES NOT COVERED BY UTILITY PROTECTION SERVICE AT LEAST (2) DAYS PRIOR TO THE START OF CONSTRUCTION OR ANY EARTHWORK OPERATIONS, .
15. CONTRACTOR SHALL PERFORM ALL WORK PER APPLICABLE REQUIREMENTS OF OSHA, LOCAL CODES & ORDINANCES. COMPLY WITH ALL REQUIREMENTS FOR PERMITS, LICENSES, FEES & TAXES AND PAY ALL ASSOCIATED COSTS.
16. CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH OWNER. PROVIDE BARRICADES, LIGHTING, SIGNS & MARKERS AS REQUIRED TO PROTECT VEHICULAR & PEDESTRIAN TRAFFIC. MAINTAIN FACILITY SECURITY AS DIRECTED BY OWNER.
17. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
18. BOUNDARY INFORMATION BASED ON A SURVEY PREPARED BY CARDINAL ENGINEERING CORPORATION ON 4/20/2020.
19. TOPOGRAPHIC INFORMATION BASED ON A FIELD SURVEY PERFORMED BY CARDINAL ENGINEERING CORPORATION/GIS INFORMATION ON 5/23/2023.

- PIPES 4", 6", AND 8" IN DIAMETER: PVC PIPE AND FITTINGS, SDR 35, EXCEPT WHERE NOTED OTHERWISE ON THE PLAN. 4" HDPE USED FOR DRAINAGE TUBING (PERFORATED AS AN UNDERDRAIN, SOLID AS AN OUTLET PIPE) SHALL CONTAIN A SOCK WRAP WHEN USED AS UNDERDRAINS.
2. PIPE 12 INCHES IN DIAMETER OR LARGER, UNLESS NOTED OTHERWISE ON THE PLANS, MAY BE ANY OF THE FOLLOWING:
 - A. PVC CORRUGATE EXTERIOR, SMOOTH INTERIOR PIPE, EXCEPT WHERE NOTED OTHERWISE ON THE PLAN.
 - B. PVC PROFILE WALL SMOOTH FLOW SEWER PIPE, EXCEPT WHERE NOTED OTHERWISE ON THE PLAN.
 - C. FOR OUTSIDE THE BUILDING ONLY, CORRUGATED POLYETHYLENE SMOOTH LINED PIPE WITH GASKETED SILT TIGHT JOINTS MEETING ASTM F-477, HANCOR SURE-LOK OR ADS PRO LINK OR EQUIVALENT. NO SOIL TIGHT SPLIT COUPLINGS SHALL BE USED.
3. ALL CATCH BASIN GRATES TO BE HEAVY DUTY AND BICYCLE SAFE.
4. ALL PIPES (EXCEPT UNDERDRAINS) SHALL HAVE A SMOOTH INTERIOR
5. FURNISH AND INSTALL ALL FITTINGS NECESSARY TO COMPLETE STORM INSTALLATION ON THE PLANS.
6. INLETS, MANHOLES AND DRAINS - PROVIDE CONCRETE FLOW SHAPING IN THE BOTTOM OF BOTH CAST IN PLACE AND PRECAST STRUCTURES TO IMPROVE HYDRAULICS AND AVOID STANDING WATER.
7. PIPE COLLARS - ALL PIPE CONNECTIONS TO DISSIMILAR MATERIALS SHALL REQUIRE A STANDARD KDOT CONCRETE COLLAR.
8. PIPE SILTING - CONTRACTOR SHALL DELIVER STORM SYSTEM IN CLEAN CONDITION TO OWNER AT END OF PROJECT. ANY CLEANING OF STRUCTURES OF PIPES (NEW OR EXISTING DOWNSTREAM) SHALL BE THE CONTRACTORS RESPONSIBILITY UNDER THIS PROJECT CONTRACT.
9. ALL MANHOLES AND CATCH BASINS TO BE PRECAST, EXCEPT WHERE NOTED OTHERWISE ON THE PLAN.

1. INDISCRIMINATE OR ARBITRARY OPERATION OF EQUIPMENT IN ANY STREAM CORRIDORS, ANY SURFACE WATER, OR OUTSIDE THE EASEMENT LIMITS IS PROHIBITED.
2. CLEAR CUTTING, CLEARING AND GRUBBING SHALL BE PHASED TO MAINTAIN COVER UNTIL ACTUAL CONSTRUCTION HAS PROGRESSED TO THE AREA. IN PARTICULAR, CLEARING TO ALLOW PIPE STRINGING MORE THAN 500 FEET IN ADVANCE OF INSTALLATION IS NOT PERMITTED.
3. PUMPING OF SEDIMENT-LADEN WATER FROM TRENCHES OR OTHER EXCAVATION DIRECTLY INTO ANY SURFACE WATERS, ANY STREAM CORRIDORS, OR STORM SEWERS IS PROHIBITED; ALL SUCH WATER SHALL BE PROPERLY FILTERED OR SETTLED TO REMOVE SILT PRIOR TO DISCHARGING INTO ANY DRAIN OR WATERCOURSE.

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING BORROW MATERIAL ONSITE AND/OR DISPOSING OF EXCESS EXCAVATED MATERIAL OFF SITE AS REQUIRED TO MEET/INDICATED DESIGN ELEVATIONS.
2. COMPACTION REQUIREMENTS, FILL AND BACKFILL, AND GENERAL EARTHWORK/GRADING REQUIREMENTS ARE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
3. ALL EROSION AND SEDIMENTATION CONTROL SHALL BE PERFORMED AS SHOWN ON THE PLANS, AND SHALL BE IN COMPLIANCE WITH THE CURRENT SD1 BEST MANAGEMENT PRACTICES & "NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM" RULES AND REGULATIONS.
4. A COPY OF THE "STORM WATER POLLUTION PREVENTION PLAN" (SWPPP), A COPY OF THE "NOTICE OF INTENT" (NOI), AND A COPY THE SD1 LAND DISTURBANCE PERMIT SHALL BE KEPT ON-SITE.
5. AN AMENDMENT OF THE SWPPP IS REQUIRED WHENEVER A CHANGE IN DESIGN, CONSTRUCTION, AND OPERATION OR MAINTENANCE HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS, OR IF THE SWPPP PROVES TO BE INEFFECTIVE IN ACHIEVING THE GENERAL OBJECTIVES OF THE SWPPP.
6. THE CONTRACTOR SHALL ALSO MAINTAIN THE FOLLOWING RECORDS ON-SITE:
 - A. GENERAL CONTRACTOR AND/OR SUBCONTRACTOR SWPPP CERTIFICATIONS.
 - B. THE DATE, TIME, AND EXACT LOCATION OF THE INSPECTION, AND THE NAME OF THE INSPECTOR.
 - C. AN ASSESSMENT OF THE CONDITION OF THE EROSION CONTROLS.
 - D. A DESCRIPTION OF ANY EROSION CONTROL IMPLEMENTATION AND MAINTENANCE PERFORMED.
 - E. A DESCRIPTION OF THE PRESENT PHASE OF CONSTRUCTION AT THE SITE.
7. A SILT BARRIER FENCE SHALL BE PLACED AROUND THE DOWNSTREAM PERIMETER OF THE SITE AS SHOWN ON THE PLANS. SEE SILT FENCE DETAIL AND CHAPTER 7 OF OHIO'S 2006 EDITION OF THE RAINWATER AND LAND DEVELOPMENT MANUAL. SEDIMENT CONTROL STRUCTURES SHALL BE FUNCTIONAL AT THE END OF EACH DAY AND SHALL BE INSPECTED WEEKLY OR WITHIN 24 HOURS AFTER A STORM EVENT. WHERE THEY ARE INTENDED TO PROVIDE SEDIMENT CONTROL SILT FENCES MUST BE PLACED ON LEVEL CONTOUR.
8. PERIMETER SEDIMENT BARRIERS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING WITHIN SEVEN (7) DAYS FROM THE START OF CLEARING AND GRUBBING, AND SHALL CONTINUE TO FUNCTION UNTIL THE SLOPE DEVELOPMENT AREA IS RESTABILIZED.
9. SOIL DISTURBING ACTIVITIES WILL INCLUDE: (1) CLEARING AND GRUBBING; (2) PERIMETER AND OTHER EROSION/SEDIMENT CONTROL MEASURES; (3) GRADING AS SHOWN ON THE PLANS.
10. THE ORDER OF ACTIVITIES WILL BE: (1) CLEAR AND GRUB PROPOSED CONSTRUCTION AREA; (2) INSTALL SILT FENCING AS INDICATED ON THE SITE PLAN; (3) GRADING OPERATIONS.
11. TEMPORARY SOIL STABILIZATION OF DISTURBED AREAS AND TEMPORARY SEEDING SHALL BE COMPLETED PER THE CURRENT SD1 BEST MANAGEMENT PRACTICES.
12. THE FOLLOWING ARE THE INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE REQUIRED OF THE CONTRACTOR. THE FOLLOWING WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS: (1) ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT (2) ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT; (3) BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE; (4) SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND; (5) TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH; (6) INSPECTION REPORTS TO BE CREATED BY THE CONTRACTOR AND SENT TO SD1 ON A MONTHLY BASIS.
13. PETROLEUM PRODUCTS

A. ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCES OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS, WHICH ARE CLEARLY LABELED. EQUIPMENT FUELING AND MAINTENANCE, OIL CHANGING, ETC., SHALL BE PERFORMED AWAY FROM WATERCOURSES, DITCHES OR STORM DRAINS. IN AN AREA ASSOCIATED FOR THAT PURPOSE, THE DESIGNATED AREA SHALL BE EQUIPPED FOR RECYCLING OIL AND CATCHING SPILLS. SECONDARY CONTAINMENT SHALL BE PROVIDED FOR ALL FUEL OIL STORAGE TANKS. THESE AREAS MUST BE INSPECTED EVERY SEVEN DAYS AND WITHIN 24 HRS. OF A 0.5 INCH OR GREATER RAIN EVENT TO ENSURE THERE ARE NO EXPOSED MATERIALS WHICH WOULD CONTAMINATE STORM WATER. SITE OPERATORS MUST BE AWARE THAT SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) REQUIREMENTS MAY APPLY. AN SPCC PLAN IS REQUIRED AND SHALL BE PREPARED BY THE PROVIDED BY THE CONTRACTOR IF FOR ONE SINGLE ABOVEGROUND TANK OF 660 GALLONS OR MORE, ACCUMULATIVE ABOVEGROUND STORAGE OF 1330 GALLONS OR MORE, OR 42.0 GALLONS OF UNDERGROUND STORAGE. SOILS THAT HAVE BECOME CONTAMINATED MUST BE DISPOSED OF PROPERLY.

B. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

A. FERTILIZERS USED WILL ONLY BE APPLIED IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE OF SAID FERTILIZER WILL BE COMPLETELY COVERED. THE CONTENTS OF ANY PARTIALLY USED BAGS OR CONTAINERS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC CONTAINER TO AVOID SPILLS.

A. DEBRIS SHALL BE COLLECTED WITHIN PROPERTY LIMITS WEEKLY OR AS NEEDED FOR PUBLIC SAFETY. SURROUNDING STREETS AFFECTED BY THE CONSTRUCTION SHALL BE CLEANED DAILY OR AS NEEDED FOR PUBLIC SAFETY.

A. THE CONSTRUCTION ENTRANCES SHALL BE CONSTRUCTED PER THE DETAIL AND MAINTAINED.

A. BEST MANAGEMENT PRACTICES (BMPs) AS PRESENTED IN THE CURRENT SD1 BEST MANAGEMENT PRACTICES MANUAL SHALL BE FOLLOWED ON THE SITE AT ALL TIMES. A COPY OF THIS MANUAL SHALL BY ONSITE AT ALL TIMES.

A. THE CONTRACTOR IS REQUIRED TO PROVIDE TRAFFIC CONTROL FOR THE EXPORTING OF MATERIAL FROM THE SITE.

A. THE OWNER HAS FILED A "NOTICE OF INTENT" WITH THE KENTUCKY EPA'S OFFICE PRIOR TO CONSTRUCTION.

1. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA): IT SHALL BE THE FULL AND COMPLETE RESPONSIBILITY OF THE CONTRACTOR TO MEET AND COMPLY WITH SAFETY REQUIREMENTS AND REGULATIONS AS ESTABLISHED BY OSHA AND ANY OTHER REGULATORY BODY. THE OWNER AND THE CONTRACTOR WILL NOT PERFORM ANY SAFETY COMPLIANCE INSPECTIONS. AS THE CONTRACTOR HAS ACCEPTED FULL AND COMPLETE RESPONSIBILITY FOR PERFORMING SUCH INSPECTIONS FOR COMPLIANCE TO THE REGULATIONS, THE CONTRACTOR SHALL IDENTIFY AND PROTECT AND HOLD HARMLESS THE OWNER AND ENGINEER FROM ANY AND ALL EXPENSES, EXPENSES FOR DAMAGES OR SUITS INCLUDING ATTORNEY'S FEES, ARISING OUT OF ANY SAFETY VIOLATION SUITS BROUGHT BY INJURED PERSONS AND/OR FINES LEVIED BY OSHA OR ANY OTHER REGULATORY BODY, AS A RESULT OF THE CONTRACTOR'S WORK.

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING BORROW MATERIAL & DISPOSING OF EXCESS EXCAVATED MATERIAL AS REQUIRED TO MEET INDICATED DESIGN ELEVATIONS.
2. EMPLOY A POSITIVE METHOD TO PREVENT MUD & DEBRIS FROM BEING DEPOSITED ON PUBLIC STREETS & OWNER'S PROPERTY ADJACENT TO CONSTRUCTION AREA.
3. PERFORM WORK IN COMPLIANCE WITH APPLICABLE REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
4. LOCATE EXISTING UNDERGROUND UTILITIES, PROVIDE ADEQUATE SUPPORT AND PROTECTION DURING EARTHWORK OPERATIONS. REPAIR DAMAGED UTILITIES TO SATISFACTION OF UTILITY OWNER. NOTIFY UTILITY OWNER OF ANY UNCHARTED OR INCORRECTLY CHARTED UTILITIES IF ENCOUNTERED DURING EXCAVATION.
5. REMOVE TREES, GRASS, OTHER VEGETATION, EXISTING ABOVE AND BELOW GRADE IMPROVEMENTS AND OTHER OBSTRUCTIONS INTERFERING WITH PROPOSED CONSTRUCTION. PROTECT UTILITIES, PAVEMENTS, AND OTHER STRUCTURES TO REMAIN FROM DAMAGE CAUSED BY SETTLEMENT, UNDERMINING AND OTHER HAZARDS CREATED BY EARTHWORK OPERATIONS.
6. STRIP TOPSOIL TO DEPTHS ENCOUNTERED PREVENTING INTERMINGLING WITH UNDERLYING SUBSOIL. STOCKPILE SUFFICIENT TOPSOIL FOR SPREADING TO 6" DEPTH OVER NON-IMPROVED AREAS. REMOVE EXCESS AND UNACCEPTABLE TOPSOIL FROM SITE. SUPPLEMENT STOCKPILED TOPSOIL WITH ADDITIONAL MATERIAL AS REQUIRED.
7. EXCAVATION IS UNCLASSIFIED AND INCLUDES EXCAVATION TO INDICATED SUBGRADE ELEVATIONS, REGARDLESS OF CHARACTER OF MATERIALS AND OBSTRUCTIONS ENCOUNTERED.
8. BARRICADE OPEN EXCAVATIONS AND POST WITH WARNING LIGHTS. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH LOCAL CODES, ORDINANCES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. SHORE AND BRACE WHERE SLOPING IS NOT POSSIBLE DUE TO SPACE RESTRICTIONS OR STABILITY OF MATERIAL EXCAVATED.
9. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR ON PREPARED SUBGRADES.
10. PROOFROLL AREAS TO RECEIVE FILL. RECOMPACT OR UNDERCUT & REPLACE ANY SOFT OR YIELDING AREAS PRIOR TOPLACING FILL. DO NOT PLACE FILL ON SUBGRADES THAT ARE MUDDY, FROZEN OR REQUIRING ADDITIONAL COMPACTION.
11. CONTROL SOIL COMPACTION, PROVIDING 98 PERCENT MINIMUM DRY DENSITY PER ASTM D-698. PLACE FILL MATERIAL AT OPTIMUM MOISTURE CONTENT IN 8" LOOSE LIFTS WHERE COMPACTED BY HEAVY EQUIPMENT AND NOT MORE THAN 4" LOOSE LIFTS WHERE COMPACTED BY HAND OPERATED TAMPERS.
12. PLACE FILL AND BACKFILL MATERIALS EVENLY ADJACENT TO STRUCTURES, PIPING AND CONDUITS TO PREVENT WEDGING ACTION.
13. USE GRANULAR BACKFILL BENEATH ALL FLOOR SLABS, PAVEMENTS AND OTHER SLAB ON GRADE CONSTRUCTIONS.
14. GRADE AREAS ADJACENT TO BUILDINGS TO DRAIN AWAY FROM STRUCTURES AND TO PREVENT POONDING. FINISH SURFACE FREE FROM IRREGULAR SURFACE CHANGES MEETING INDICATED SUBGRADE AND FINISH GRADE ELEVATIONS.
15. PROVIDE AND MAINTAIN EROSION CONTROL METHODS IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
16. REMOVE WASTE MATERIALS AND EXCESS EXCAVATED MATERIAL, UNSATISFACTORY SOIL MATERIAL, TRASH AND DEBRIS AND DISPOSE OF IT OFF OWNER'S PROPERTY.
17. COMPACTION: ALL AREAS, 98% OF MAXIMUM DRY DENSITY AS DEFINED BY ASTM D-698.
18. SPREAD 6" OF TOP SOIL, FERTILIZE SEED AND MULCH ALL GRADED & DISTURBED AREAS AS SOON AS THEY WILL NOT BE AFFECTED BY SUBSEQUENT CONSTRUCTION. CONFORM TO THE APPLICABLE REQUIREMENTS OF ODOT ITEM 659, SEEDING & MULCHING.

1. THE CONTRACTOR SHALL ADHERE TO ALL GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO EMPLOY TRENCHING, SHORING, BACKFILLING, AND GENERAL CONSTRUCTION METHODS AS NECESSARY TO PREVENT DAMAGE TO EXISTING PAVEMENT, STRUCTURES, AND INFRASTRUCTURE ADJACENT TO THE SITE. UNBACKFILLED TRENCH LENGTHS SHALL BE KEPT TO A MINIMUM AND/OR SHORING SHOULD BE EMPLOYED AS NEEDED TO PREVENT SOIL MOVEMENTS ADJACENT TO UNBACKFILLED TRENCHES. ALL BEDDING AND GRAD SHALL BE BACKFILLED MATERIAL SHALL BE COMPACTED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.

1. TAP PERMITS AND FEES ARE REQUIRED BY THE SANITATION DISTRICT NO. 1 (SD1) AND SHALL BE PAID BY THE CONTRACTOR WITH THE EXCEPTION OF THE TAP-IN FEE, WHICH SHALL BE PAID BY OWNER.
2. SEWER CONTRACTORS PERFORMING TAPS SHALL BE PREQUALIFIED WITH SD1.
3. NO CLEAN WATER (DOWNSPOUTS, CATCH BASINS, FOOTING AND FOUNDATION DRAINS, ETC.) ARE TO BE CONNECTED TO THE SANITARY SEWER SYSTEM.
4. SANITARY LATERAL PIPING SHALL BE PVC, ASTM D 3034, SDR 35 WITH GASKETED JOINTS.

1. ALL DISTURBED AREAS WITHIN THE LIMITS OF CONSTRUCTION THAT ARE NOT PAVED OR LANDSCAPED SHOULD BE SEEDED.
2. TACK ALL SLOPES STEEPER THAN 5:1 WITH STAPLES AND PLASTIC NET.
3. CONTRACTOR TO REDISTRIBUTE THE TOPSOIL AND/OR IMPORT FOR A DEPTH OF 4' - 7" IN ALL AREAS THAT ARE NOT TO BE PAVED.

1. ALL SITE CONCRETE (OUTSIDE THE BUILDINGS) SHALL BE CONCRETE FOR PAVEMENT: 4000 PSI AT 28 DAYS, 6% +/- 1% ENTRAINED AIR, 4" MAX. SLUMP, MAX. WATER TO CEMENT RATIO = 0.45, 5-1/2 BAG MIX.
2. FIELD QUALITY CONTROL:
 - A. TESTING AGENCY: OWNER WILL ENGAGE A QUALIFIED TESTING AND INSPECTION AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT, SAMPLING, AND TESTING FOR QUALITY CONTROL MAY INCLUDE THOSE SPECIFIED IN THIS ARTICLE. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE TESTING AGENCY 24 HOURS PRIOR TO STARTING WORK REQUIRING MATERIAL TESTING. FAILURE TO PROVIDE PROPER NOTIFICATION AS PER ABOVE WILL REQUIRE THE CONTRACTOR TO STOP WORK UNTIL PROPER ARRANGEMENTS HAVE BEEN MADE WITH THE TESTING AGENCY.
 - B. TESTING SERVICES: TESTING SHALL BE PERFORMED ACCORDING TO THE FOLLOWING REQUIREMENTS:
 - a. SAMPLING FRESH CONCRETE: REPRESENTATIVE SAMPLES OF FRESH CONCRETE SHALL BE OBTAINED ACCORDING TO ASTM C 172, EXCEPT MODIFIED FOR SLUMP TO COMPLY WITH ASTM C 94.
 - b. SLUMP: ASTM C 143; ONE TEST AT POINT OF PLACEMENT FOR EACH COMPRESSIVE-STRENGTH TEST, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH TYPE OF CONCRETE. ADDITIONAL TESTS WILL BE REQUIRED WHEN CONCRETE CONSISTENCY CHANGES.
 - c. AIR CONTENT: ASTM, C 231. PRESSURE METHOD; ONE TEST FOR EACH COMPRESSIVE-STRENGTH TEST, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH TYPE OF AIR-ENTRAINED CONCRETE.
 - d. COMPRESSIVE TEST SPECIMENS: ASTM C 31/C 31 M; ONE SET OF FIVE STANDARD CYLINDERS FOR EACH COMPRESSIVE-STRENGTH TEST, UNLESS OTHERWISE INDICATED. CYLINDERS SHALL BE MOULDED AND STORED FOR LABORATORY-CURED TEST SPECIMENS UNLESS FIELD-CURED TEST SPECIMENS ARE REQUIRED.
 - e. COMPRESSIVE-STRENGTH TEST: ASTM C 39; ONE SET FOR EVERY 50 CUBIC YARDS OF CONCRETE WITH A MINIMUM OF ONE SET FOR EACH CASTING OF CONCRETE, NO MATTER WHAT THE SIZE; TWO SPECIMENS SHALL BE TESTED AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS; ONE SPECIMEN SHALL BE RETAINED IN RESERVE FOR LATER TESTING IF REQUIRED.
 - f. STRENGTH LEVEL OF CONCRETE WILL BE CONSIDERED SATISFACTORY IF AVERAGES OF SETS OF THREE CONSECUTIVE COMPRESSIVE-STRENGTH TEST RESULTS EQUAL OR EXCEED SPECIFIED COMPRESSIVE STRENGTH AND NO INDIVIDUAL COMPRESSIVE-STRENGTH TEST RESULT FALLS BELOW SPECIFIED COMPRESSIVE STRENGTH BY MORE THAN 500 PSI (3.4 MPa).
 - C. TEST RESULTS SHALL BE REPORTED IN WRITING TO OWNER, CONCRETE MANUFACTURER, AND CONTRACTOR WITHIN 24 HOURS OF TESTING. REPORTS OF COMPRESSIVE-STRENGTH TESTS SHALL CONTAIN PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING AGENCY, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN PAVEMENT DESIGN, COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7 AND 28DAY TESTS.
 - D. NONDESTRUCTIVE TESTING: IMPACT HAMMER, SONOSCOPE, OR OTHER NONDESTRUCTIVE DEVICE MAY BE PERMITTED BY ROBERTSON BUT WILL NOT BE USED AS THE SOLE BASIS FOR APPROVAL OR REJECTION.
 - E. ADDITIONAL TESTS: TESTING AGENCY SHALL MAKE ADDITIONAL TESTS OF THE CONCRETE WHEN TEST RESULTS INDICATE SLUMP, AIR ENTRAINMENT, CONCRETE STRENGTHS, OR OTHER REQUIREMENTS HAVE NOT BEEN MET, AS DIRECTED BY OWNER. TESTING AGENCY MAY CONDUCT TESTS TO DETERMINE ADEQUACY OF CONCRETE BY CORED CYLINDERS COMPLYING WITH ASTM C 42, OR BY OTHER METHODS AS DIRECTED. ADDITIONAL TESTING WILL BE AT THE CONTRACTOR'S EXPENSE.

1. THE LOCATION OF UNDERGROUND PUBLIC OR QUASI-PUBLIC UTILITIES AND SUBSTRUCTURES SHOWN HEREON, ARE BASED UPON FIELD LOCATION OF SURFACE AND ABOVE GRADE STRUCTURES, AND IMPROVEMENT PLANS PROVIDED TO US, AND MAY NOT BE A COMPLETELY ADDRESS THE SUBJECT. LOCATIONS OF UNDERGROUND UTILITIES AND SUBSTRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON, AND ADDITIONAL UTILITIES AND SUBSTRUCTURES MAY BE ENCOUNTERED. TYPE OF MATERIAL AND GRADIENT FOR SEWER PIPES AND WATER LINES IS INDICATED WHERE DISCERNIBLE, OR AS INDICATED ON UTILITY PLANS (WHEN ACQUIRED).
2. SUBMIT SCHEDULE TO OWNER INDICATING PROPOSED METHODS, SCHEDULE OF WORK AND COORDINATION WITH OWNER'S OPERATIONS.
3. DO NOT BEGIN DEMOLITION WORK IN ANY AREA UNTIL OWNER HAS REMOVED ALL EQUIPMENT AND OTHER APPURTENANCES NOT INCLUDED IN THE SCOPE OF WORK.
4. CONDUCT OPERATIONS IN CONFORMANCE WITH ALL RULES, ORDINANCES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
5. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC DURING SELECTIVE DEMOLITION WORK EMPLOY POSITIVE METHODS TO PREVENT DUST AND DIRT FROM RISING INTO AIR.
6. MAINTAIN ALL UTILITIES AND RELATED ITEMS INDICATED TO REMAIN AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. REMOVE, CAP, ABANDON AND/OR DISCONNECT ALL UTILITIES AS INDICATED. SEQUENCE WORK AS REQUIRED. DO NOT DISRUPT ANY UTILITY SERVICE WITHOUT 48 HOUR NOTICE TO, AND PRIOR APPROVAL FROM OWNER.
7. EXERCISE CARE TO PREVENT DAMAGING EXISTING UTILITIES, STRUCTURES, AND FINISHES TO REMAIN. REPAIR ANY DAMAGED ITEMS TO THE SATISFACTION OF OWNER.
8. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. PROVIDE SATISFACTORY SOIL MATERIAL AND COMPACTION AS APPROVED BY OWNER'S TESTING AND INSPECTION SERVICE.
9. REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM THE PROJECT SITE.

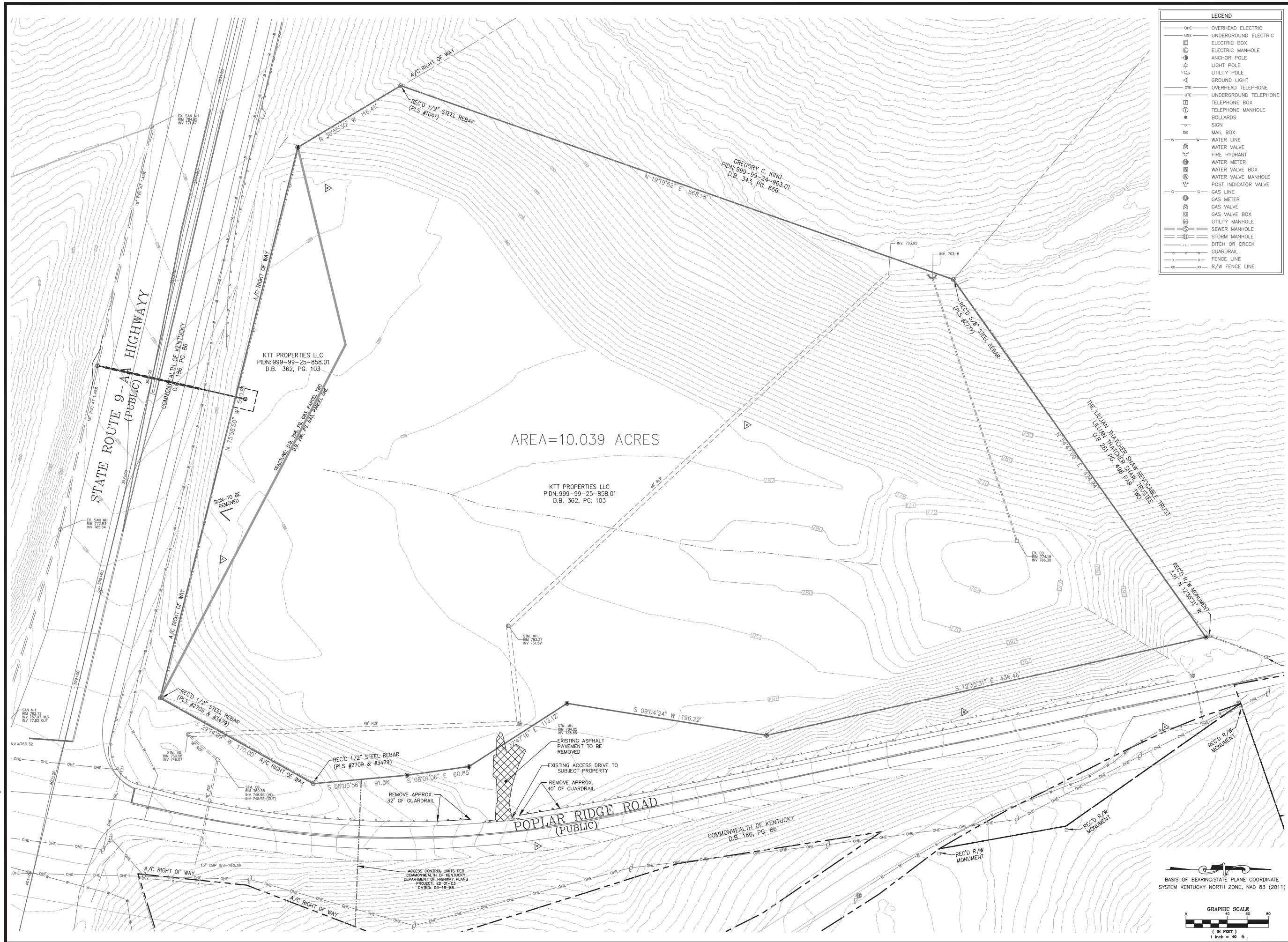
1. REINFORCING STEEL: ASTM A615, GRADE 60, DEFORMED STEEL.
2. GRANULAR BACKFILL MATERIAL: NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, STONE & SAND. ASTM D2940, WITH AT LEAST 95% PASSING A 1" SIEVE AND NOT MORE THAN 5% PASSING A NO. 200 SIEVE

1. PROPOSED TELEPHONE, COMMUNICATION AND ELECTRICAL CONDUITS SHALL BE PVC SCHEDULE 40. ALL OF THESE CONDUITS SHALL HAVE PULL STRING AND BURIED UTILITY LOCATOR TAPE FURNISHED AND INSTALLED. DIRECT BURIED ELECTRICAL CONDUITS (NOT CONCRETE ENCASED) SHALL BE SCHEDULE 40 (NEMA TC-2), 90 DEGREE C RATED.
2. ALL CHANGES OF DIRECTION IN CONDUIT TO BE GENTLE SWEEPS (NOT SHARP BENDS).
3. ALL MATERIALS METHODS AND WORKMANSHIP TO COMPLY WITH N.E.C. CODES AND REGULATIONS.

1. UTILITY TAPS: CONTRACTOR TO MAKE ALL ARRANGEMENTS, OBTAIN ALL PERMITS AND PAY ALL FEES IN CONJUNCTION WITH THIS WORK. FURNISH ESTIMATED SIZE/DEMAND AND LOCATION TO UTILITY OWNER. ALL WORK TO BE PERFORMED IN STRICT ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS. PROVIDE ALL MATERIALS & INSTALLATIONS NOT FURNISHED BY UTILITY CO.

2. UTILITY CROSSING (VERTICAL): CONFLICTS SHALL BE RESOLVED ACCORDING TO THE FOLLOWING RULES AND HIERARCHY: SANITARY HAS FIRST PRIORITY, STORM HAS SECOND PRIORITY, DUE TO BOTH BEING GRAVITY SYSTEMS. NO OTHER UTILITY SHALL BE INSTALLED TO CONFLICT WITH STORM AND SANITARY. ALL OTHER UTILITIES NEED TO COORDINATE CLEARANCES AND LOCATIONS WITH EACH OTHER, CITY INSPECTOR, AND PUBLIC UTILITIES WITHIN 10' OF THE PLANNED UTILITY FOR INDIVIDUAL CROSSINGS. LAST PRIORITY SHALL BE BASED ON ORDER OF INSTALLATION, WITH ALL WORK ADHERING TO MINIMUM COVER AND CLEARANCES. MAINTAIN 18-INCH MINIMUM CLEARANCE TYPICAL BETWEEN ALL UTILITIES AT CROSSINGS.

[illegible]



NOTES:

1. REFER TO SHEET C-001 FOR ALL GENERAL/PLAN NOTES.
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICTS ALL WORK ASSOCIATED WITH THE PROJECT.

BUILDING AREA	S.F.	STALLS	REQUIRED PER CODE
OFFICE SPACE	970	4	1 STALL PER 250 S.F.
SHOWROOM/RETAIL	5,900	6	1 STALL PER 1,000 S.F.
SERVICE AREA (4 BAYS, 20 EMPLOYEES)	5,350	28	2 STALLS PER BAY PLUS 1 PER EMPLOYEE LARGEST
STORAGE/HALL/RESTROOM/MECHANICAL	5,580	6	1 STALL PER 1,000 S.F.
TOTAL SQUARE FOOTAGE	*****	44 STALLS	TOTAL STALLS REQUIRED
STALLS PROVIDED:			
ADA ACCESSIBLE PARKING SPACES	2		ADA ACCESSIBLE PARKING NOTES:
REGULAR PARKING SPACES	43		2 ACCESSIBLE SPACES REQUIRED AND PROVIDED
TOTAL SPACES PROVIDED:	45		1 OF WHICH MUST BE VAN ACCESSIBLE

SITE KEY NOTES:

1. HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL 3/C-500)
2. LIGHT DUTY ASPHALT PAVEMENT (SEE DETAIL 2/C-500)
3. HEAVY DUTY CONCRETE PAVEMENT (SEE DETAIL 1/C-500)
4. CONCRETE WALK/PATIO (SEE DETAIL 4/C-500)
5. INTEGRAL WALK & CURB (SEE DETAIL 6/C-500)
6. CONCRETE HEADER CURB (SEE DETAIL 7/C-500)
7. ADA ACCESSIBLE CURB RAMP (SEE DETAIL 5/C-500)
8. ADA ACCESSIBLE PARKING SIGNAGE, VAN ACCESSIBLE SPACES SHALL HAVE VAN ACCESSIBLE SIGN BELOW STANDARD HANDICAP SIGN (SEE DETAIL 9/C-500)
9. 4" TRANSVERSE STRIPING AT ACCESSIBLE AISLES & INTERNATIONAL SYMBOL OF ACCESSIBILITY PER ADA REQUIREMENTS (2 COATS)
10. PROPOSED CONCRETE BOLLARD (SEE DETAIL 10/C-500)
11. PRECAST CONCRETE WHEEL STOP (SEE DETAIL 8/C-500)
12. PROPOSED 6" HIGH CHAIN LINK FENCE (SEE DETAIL 10/C-500)
13. PROPOSED CHAIN LINK GATE (SEE DETAIL 11/C-500)
14. PROPOSED GRAVEL AREA (SEE DETAIL 13/C-500)
15. REFER TO PLANS BY OTHERS FOR DESIGN OF SITE BUILDINGS, THE AREA UNDER THE COVERED PORCH WILL BE CONCRETE PER THE ARCHITECTURAL PLANS
16. FUTURE BUILDING EXPANSION
17. TRANSITION CURB FROM 6" TO FLUSH, REFER TO SHEET C-400 FOR PROPOSED ELEVATIONS
18. STOP BAR/SIGN AND PAVEMENT ARROWS/MARKINGS
19. PROPOSED TRANSFORMER PAD PER DUKE REQUIREMENTS

SITE PLAN LEGEND

- PROPOSED HEAVY DUTY ASPHALT PAVEMENT (SEE DETAIL 3/C-500)
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT (SEE DETAIL 2/C-500)
- PROPOSED HEAVY DUTY CONCRETE (SEE DETAIL 1/C-500)
- PROPOSED GRAVEL AREA (SEE DETAIL 13/C-500)
- PROPOSED PARKING STALL ROW COUNT
- PROPOSED FENCE

REVISIONS

DATE # ITEM



CARDINAL

ENGINEERING
LAND SURVEYING
ONE MOORE ROAD
WILDER, KENTUCKY 41071
PHONE (859) 581-9800WEBSITE: <http://www.cardinalengineering.net>CIVIL SITE PLANS
ALEXANDRIA KUBOTA DEALERSHIP
POPLAR RIDGE ROAD, CITY OF ALEXANDRIA
CAMPELL COUNTY, KENTUCKYKTT PROPERTIES, LLC
130 MT. ZION ROAD
FLORENCE, KY 41042

PROJECT:

JOB LOG

DATE ITEM

DRAWN BY:

BCC

CHECKED BY:

JDM

PROJECT MANAGER:

JDM

PROJECT NO. 23-119

SCALE 1" = 40'

DATE 03/08/2024

SITE PLAN

SHEET






C-200

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-TOILET, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINER, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAP AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE/EXIT AND SIPPY ENTRANCE SIGN.
2. CONSTRUCT THE PERMETER EROSION CONTROL MEASURES ON THE SITE.
3. INSTALL DETENTION BASIN OUTLET STRUCTURE MODIFICATIONS. THE BASIN WILL BE USED AS A TEMPORARY SEDIMENTATION BASIN DURING CONSTRUCTION.
4. CLEAR AND GRUB THE SITE, AND REMOVE TOPSOIL WITHIN THE AREAS OF PROPOSED GRADING ON-SITE.
5. PREPARE TEMPORARY PARKING AND STORAGE AREA INCLUDING DESIGNATED LOCATIONS FOR DUMPSTERS, SANITARY AND UTILITY AND CONCRETE PAVING, TRUCKS AND MATERIALS STORAGE.
6. START ROUGH GRADING AND CONSTRUCTION OF PAVEMENT AREA AND BUILDING PADS.
7. TEMPORARILY SEED AS REQUIRED.
8. BEGIN FINAL GRADING OPERATIONS. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
9. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, FINGER DRAINS, CURBS AND GUTTERS.
10. INSTALL DETENTION BASIN AND ALL STORM WATER STRUCTURES AS THEY ARE INSTALLED.
11. PREPARE SITE FOR PAVING. REMOVE INLET PROTECTION NO MORE THAN 45 HOURS PRIOR TO PLACING STABILIZED BASE COURSE.
12. PAVE SITE.
13. INSTALL APPROPRIATE INLET PROTECTION DEVICES AS PAVING IS COMPLETED.
14. COMPLETE GRADING AND INSTALL PERMANENT SEEDING, SOPE PROTECTION AND PLANTINGS. SEE LANDING PLAN FOR PLANTING OF PERMANENT SEEDING AND PLANTINGS. RESTORE PERIMETER AREAS TO MATCH EXISTING CONDITIONS. SEED AS REQUIRED TO STABILIZE DISTURBED AREAS.
15. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES (ONLY IF SITE IS STABILIZED).
16. CONTINUE DAILY INSPECTION REPORTS UNTIL THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.
17. FILE NOTICE OF TERMINATION WITH SANITATION DISTRICT NO.1.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED. BMP-RELATED STEPS IN THE ABOVE SEQUENCE ARE ITALICIZED FOR CLARITY.

1. REFER TO SHEET G-001 FOR ALL GENERAL/PLAN NOTES.
2. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICTS ALL WORK ASSOCIATED WITH THE PROJECT.

SWPPP LEGEND	
— — — — —	CONSTRUCTION LIMITS
—SF— (SF)	TEMPORARY SILT FENCE PER 1/C-402
 (CE)	CONSTRUCTION EXIT PER 5/C-402
 (CD)	CHECK DAM PER 7/C-402
 (IP1)	DANDY CURB INLET PROT PER 2/C-402
 (IP2)	SILT FENCE INLET PROT PER 3/C-402
 (IP3)	DANDY BAG INLET PROT PER 4/C-402

[illegible]

CARDINAL
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CIVIL SITE PLANS
ALEXANDRIA KUBOTA DEALERSHIP
POPLAR RIDGE ROAD, CITY OF ALEXANDRIA
CAMPBELL COUNTY, KENTUCKY

KTT PROPERTIES, LLC
130 MT. ZION ROAD
FLORENCE, KY 41042

PROJECT:

CLIENT:

[illegible]

DRAWN BY:

SEAL

BCC

10

CHECKED BY _____

1

JDM

7

PROJECT

1

PROJECT NO. 23-119

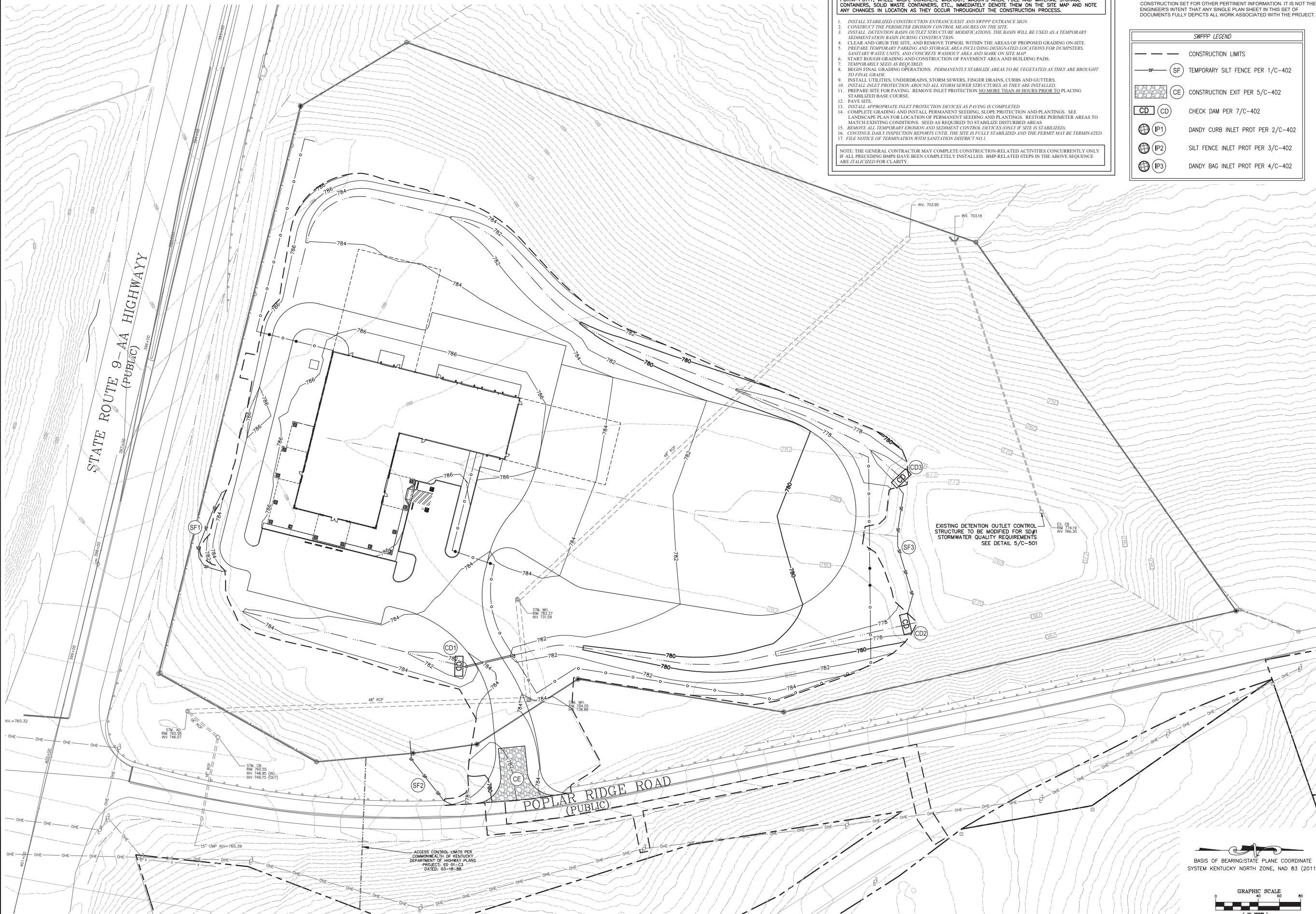
SCALE 1" = 40'

DATE 03/08/2024

EROSION & SEDIMENT CONTROL PLAN

SHEET

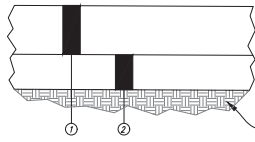
C-401



H:\SDSKPROJ\2023\23-119\PLAN\Site Plans\23-119-SitePlans.dwg

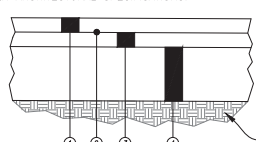
PAVEMENT SECTION NOTES:

- PAVEMENT DESIGN SHOWN ON THESE PLANS IS FOR GENERAL INFORMATIONAL PURPOSES ONLY. ACTUAL PAVEMENT DESIGN TO BE DETERMINED BY THE GEOTECHNICAL ENGINEER BASED UPON SUBGRADE CONDITIONS ENCOUNTERED AT THE SITE AND ANY REQUIRED STABILIZATION AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- ITEM NUMBERS REFER TO LATEST EDITION OF THE KENTUCKY TRANSPORTATION CABINET CONSTRUCTION MATERIALS & SPECIFICATIONS.
- EXPANSION AND CONTROL JOINTS PER ARCHITECTURAL SPECIFICATIONS.



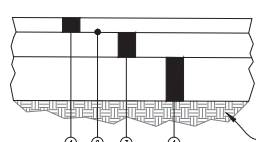
- ① Item 500 8" PCC (Portland Cement Concrete) Pavement
- ② Item 302 6" Aggregate Base

1 HEAVY DUTY CONCRETE PAVEMENT C-500 SCALE: NTS



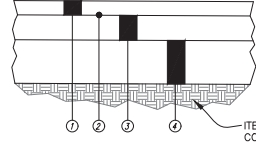
- ① Item 400 1.5" Asphalt Concrete Surface Course
- ② Item 406 Tack Coat
- ③ Item 400 2.5" Asphalt Concrete Intermediate Course
- ④ Item 302 6" Aggregate Base

2 LIGHT DUTY PAVEMENT SECTION C-500 SCALE: NTS



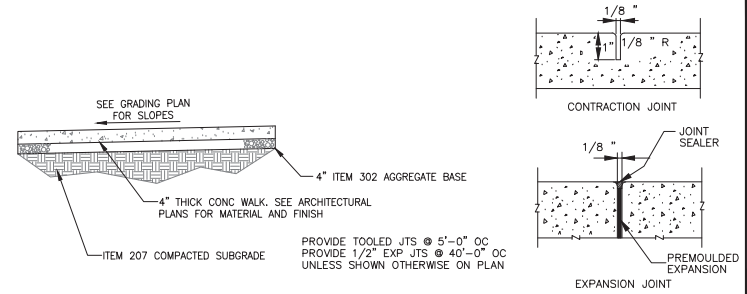
- ① Item 400 1.5" Asphalt Concrete Surface Course
- ② Item 406 Tack Coat
- ③ Item 400 3.5" Asphalt Concrete Intermediate Course
- ④ Item 302 8" Aggregate Base

3 HEAVY DUTY PAVEMENT SECTION C-500 SCALE: NTS

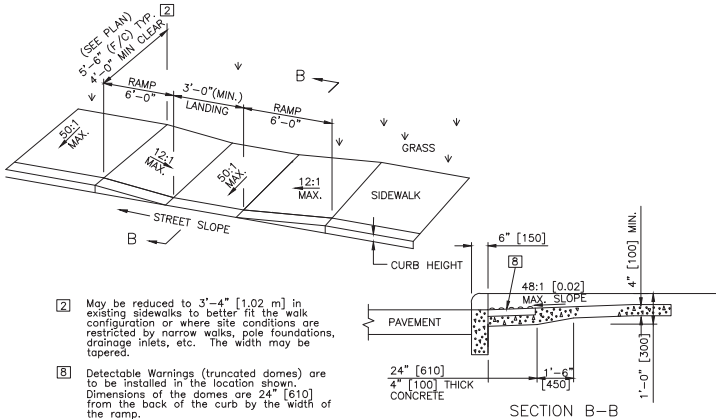


- ① Item 400 1.5" Asphalt Concrete Surface Course
- ② Item 406 Tack Coat
- ③ Item 400 3" Asphalt Concrete Intermediate Course
- ④ Item 302 8" Aggregate Base

STABILIZED

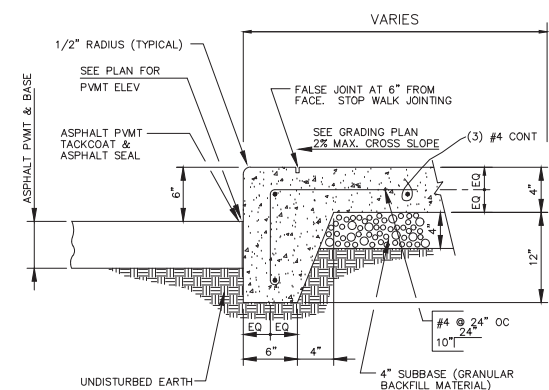


4 CONC WALK AND PATIO AREAS C-500 SCALE: NTS

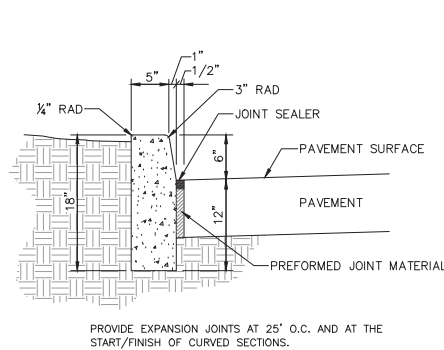


- ② May be reduced to 3'-4" [1.02 m] in existing sidewalks to better fit the walk configuration or where site conditions are restricted by narrow walks, pole foundations, drainage inlets, etc. The width may be tapered.
- ⑧ Detectable Warnings (truncated domes) are to be installed in the location shown. Dimensions of the domes are 24" [610] from the back of the curb by the width of the ramp.

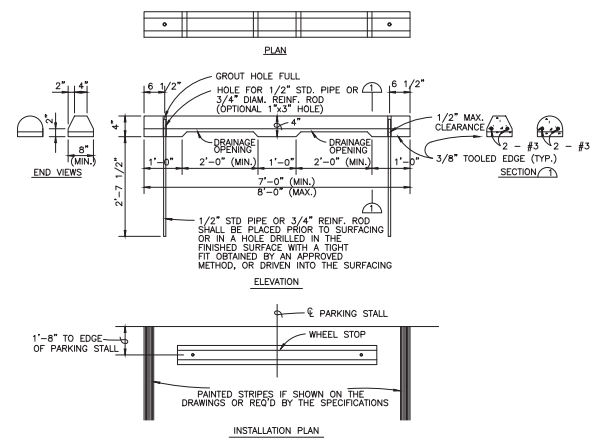
5 ADA CURB RAMP C-500 SCALE: NTS



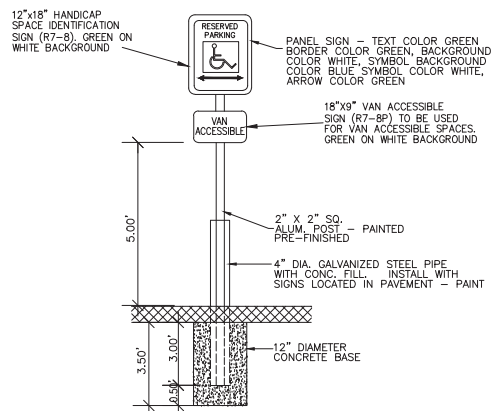
6 INTEGRAL WALK & CURB C-500 SCALE: NTS



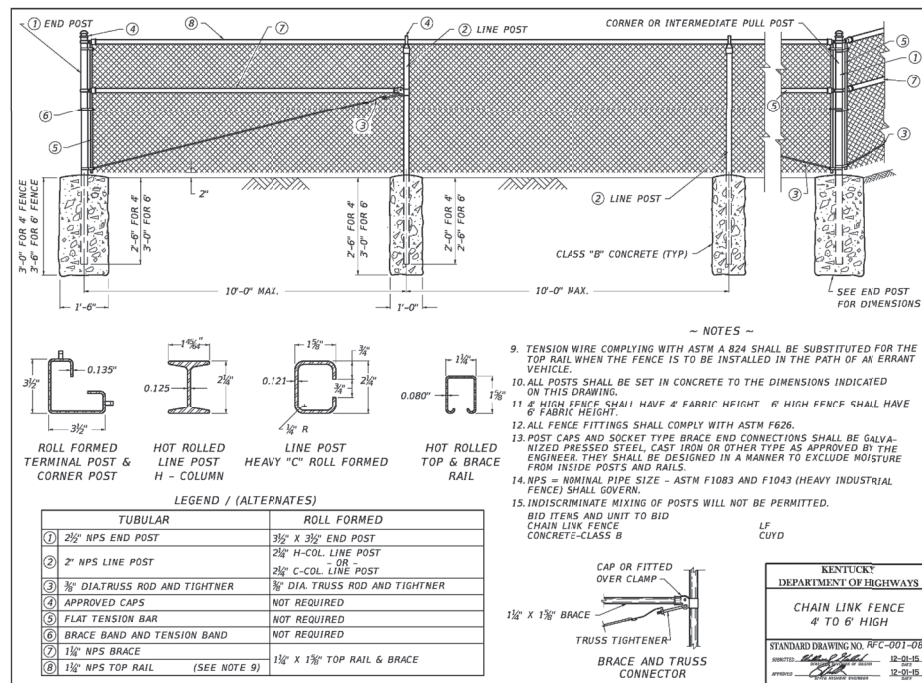
7 CONCRETE HEADER CURB C-500 SCALE: NTS



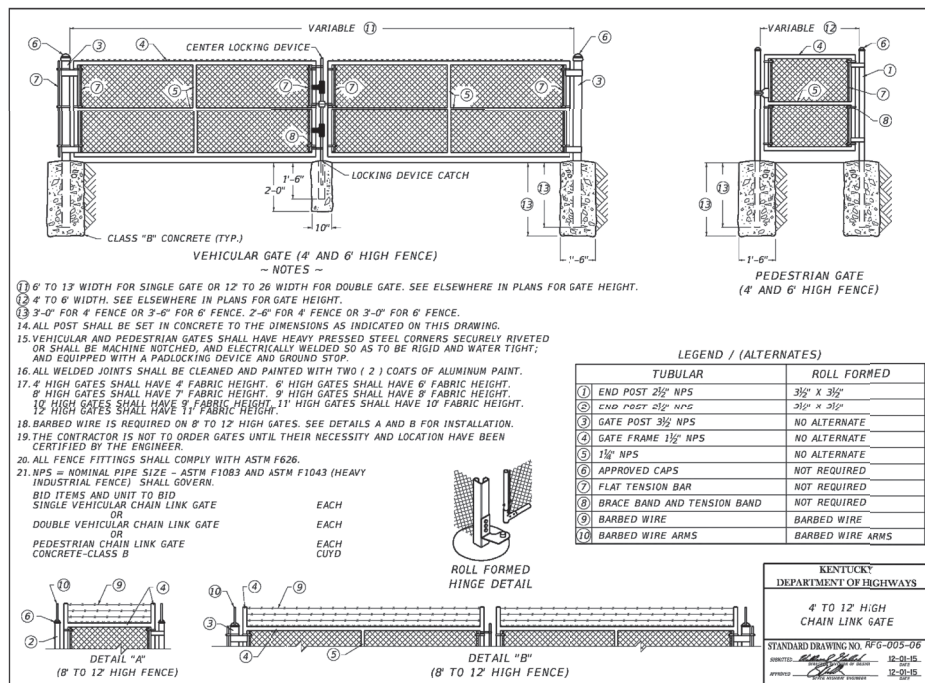
8 PRECAST CONCRETE WHEEL STOP C-500 SCALE: NTS



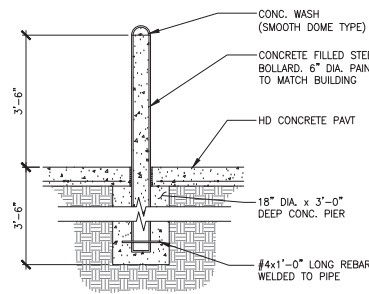
9 HANDICAP SIGN DETAIL C-500 SCALE: NTS



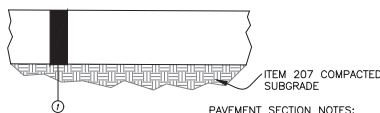
11 CHAIN LINK FENCE C-500 SCALE: NTS



12 CHAIN LINK GATE C-500 SCALE: NTS



10 CONCRETE BOLLARD C-500 SCALE: NTS



- ① Item 302 10" Aggregate Base

13 GRAVEL AREA C-500 SCALE: NTS

PAVEMENT SECTION NOTES:

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- ITEM NUMBERS REFER TO LATEST EDITION OF THE KENTUCKY TRANSPORTATION CABINET CONSTRUCTION MATERIALS & SPECIFICATIONS.

REVISIONS	DATE	#	ITEM

CARDINAL
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CIVIL SITE PLANS

ALEXANDRIA KUBOTA DEALERSHIP
POPLAR RIDGE ROAD, CITY OF ALEXANDRIA
CAMPELL COUNTY, KENTUCKY

KTT PROPERTIES, LLC
130 MT. ZION ROAD
FLORENCE, KY 41042

PROJECT: PROJECT MANAGER: JDM

JOB LOG	DATE	ITEM

DRAWN BY: BCC

CHECKED BY: JDM

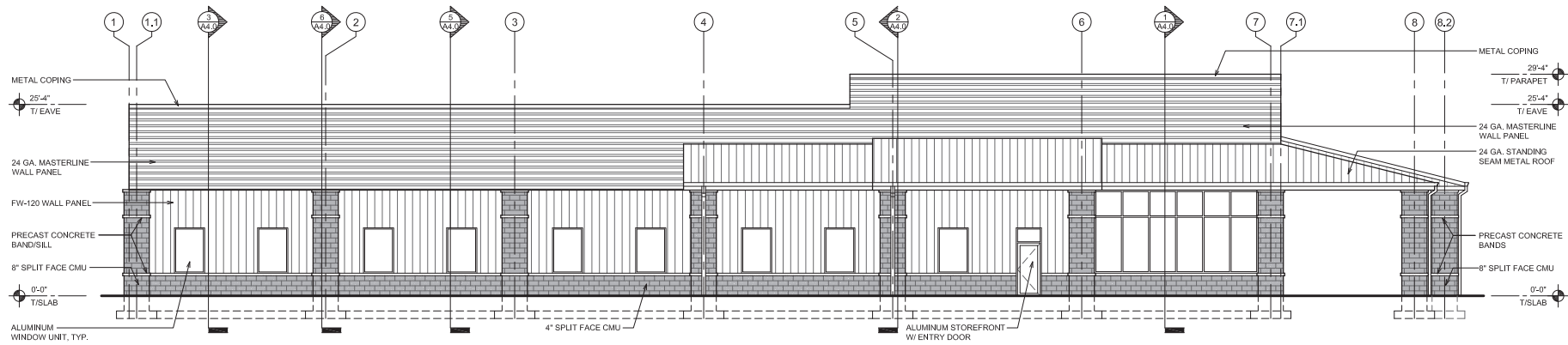
PROJECT MANAGER: JDM

SEAL

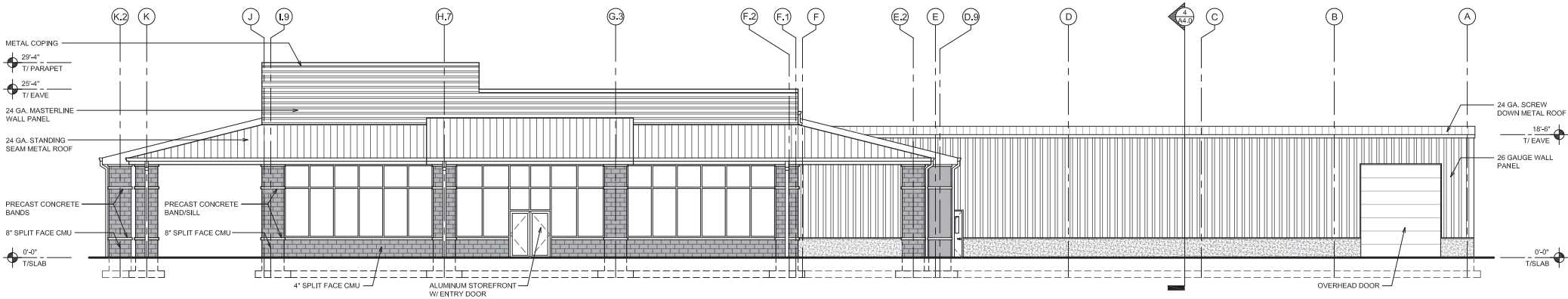
PROJECT NO. 23-119
SCALE AS NOTED
DATE 03/08/2024

SITE DETAILS

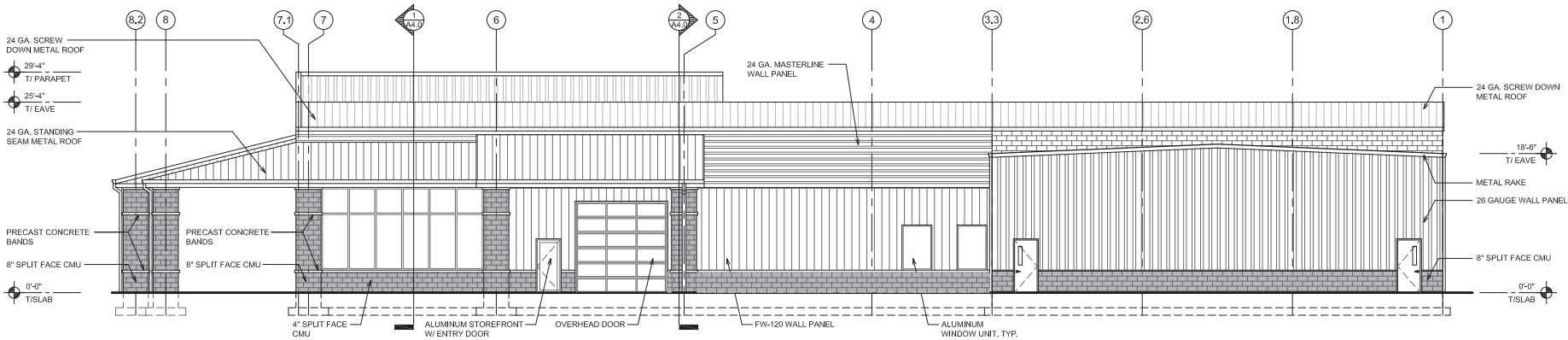
SHEET **C-500**



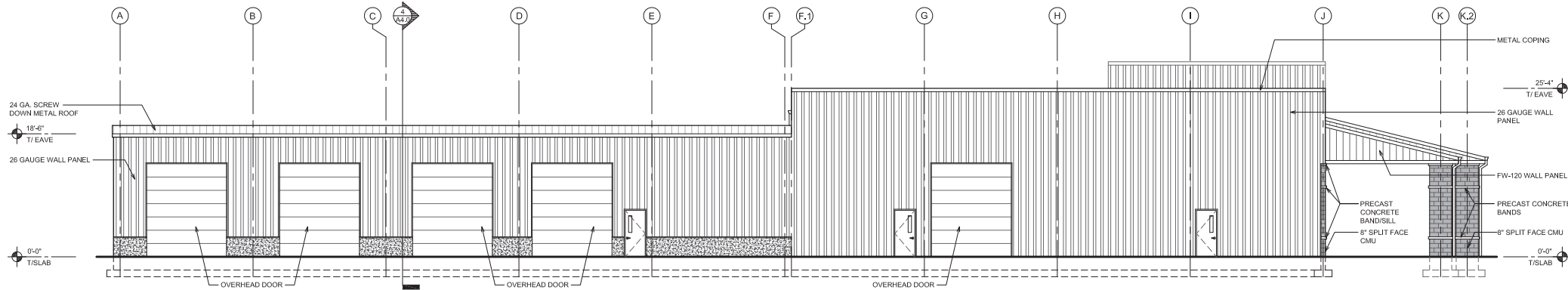
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



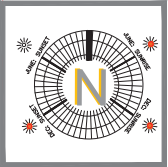
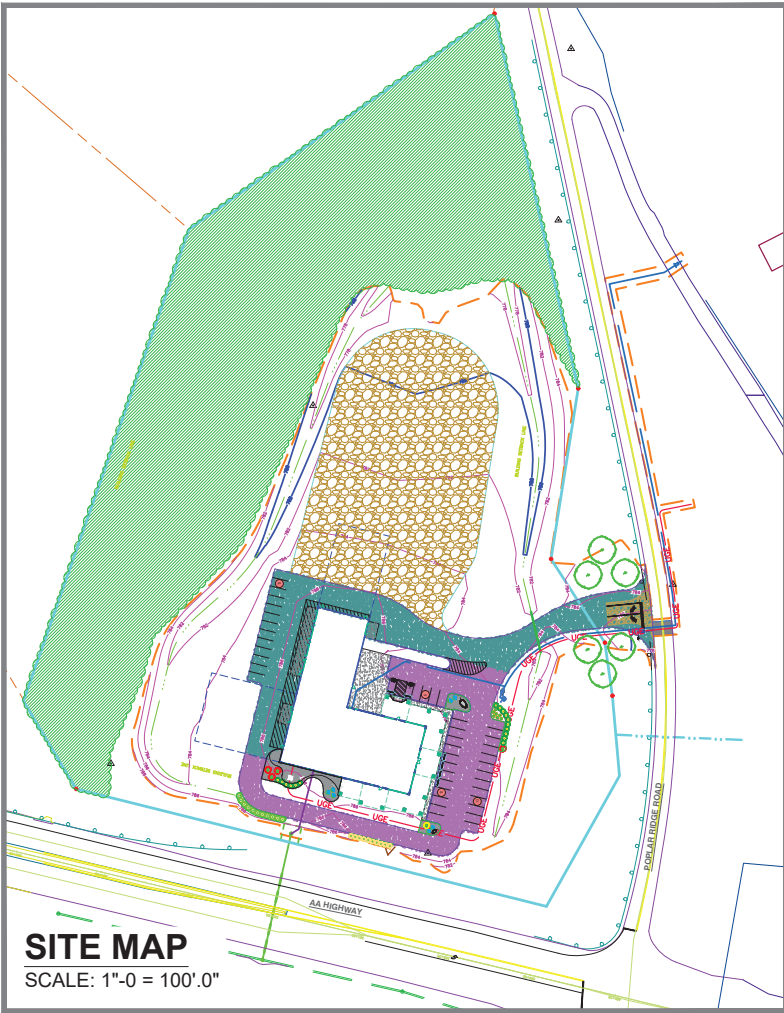
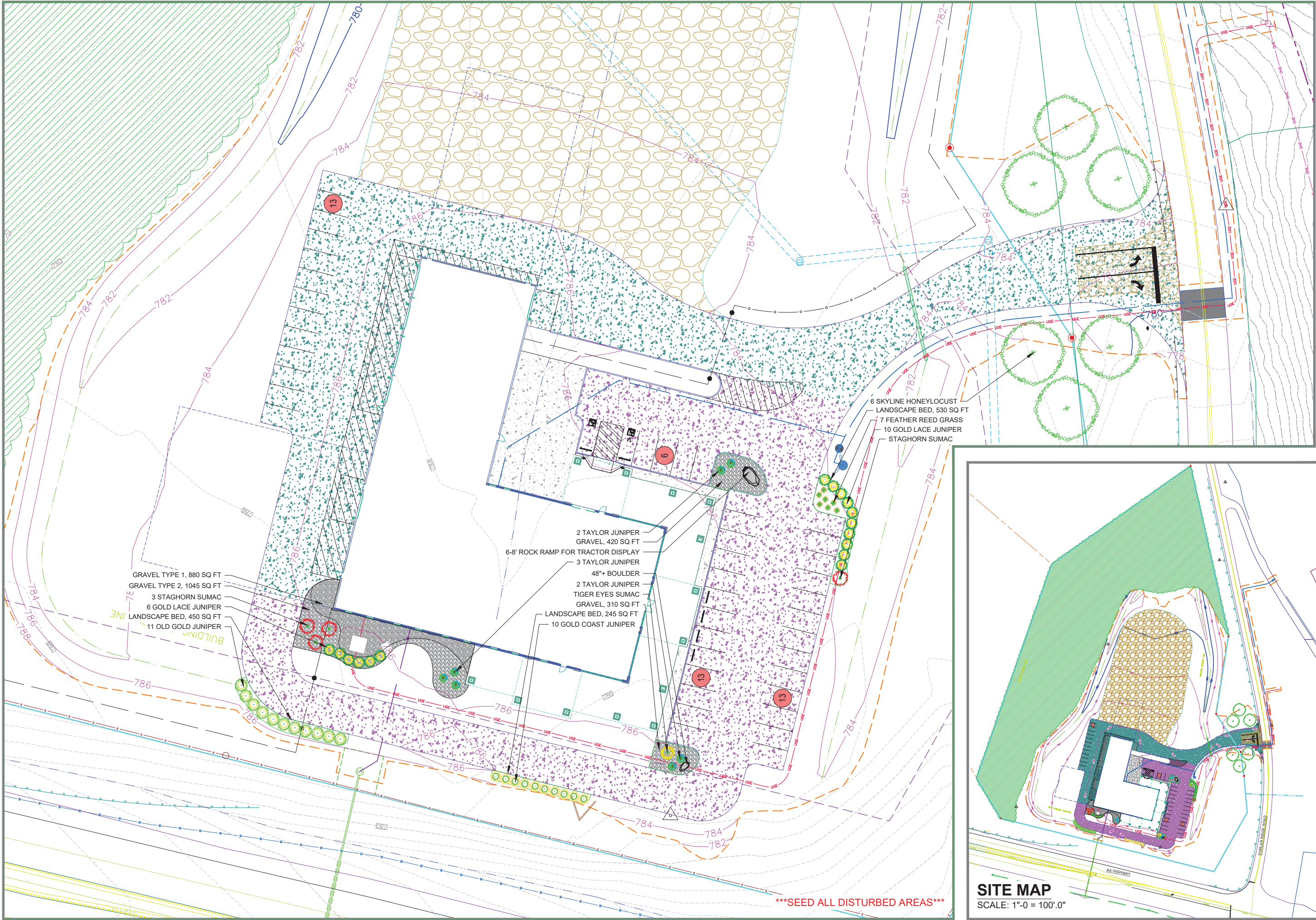
2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

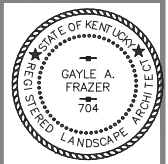


4 WEST ELEVATION
SCALE: 1/8" = 1'-0"



GAYLE A. FRAZER
REGISTERED LANDSCAPE ARCHITECT
KENTUCKY LANDSCAPE ARCHITECT NO. 704

KUBOTA
POPLAR RIDGE ROAD
ALEXANDRIA, KY



LANDSCAPE PLAN

SCALE
1"=0 = 20'-0"

CURRENT:
3/13/2024
REVISED:
3/13/2024



L1

PLOT DATE: 3/13/2024 9:47 AM

GENERAL PLANTING NOTES

THE CONTRACTOR SHALL:

- 1.CONTACT ALL UTILITY COMPANIES AND HAVE ALL LINES MARKED PRIOR TO COMMENCING WORK.
- 2.PROVIDE QUALITY, SIZE, GENUS, SPECIES, AND VARIETY OF EXTERIOR PLANTS INDICATED, COMPLYING WITH APPLICABLE REQUIREMENTS IN ANSI 260.1, "AMERICAN STANDARD FOR NURSERY STOCK."
- 3.FURNISH NURSERY-GROWN TREES AND SHRUBS COMPLYING WITH ANSI 260.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- 4.PROVIDE TREES AND SHRUBS OF SIZES AND GRADES COMPLYING WITH ANSI 260.1 FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED, IF ACCEPTABLE TO LANDSCAPE ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- 5.IF FORMER AIRBORNE DROPS OR CONSECUTIVE ORDER OF TREES OR SHRUBS IS SHOWN, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER LABEL TO ASSURE SYMMETRY IN PLANTING.
- 6.LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- 7.NOTIFY LANDSCAPE ARCHITECT IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PITS.
- 8.NOTIFY LANDSCAPE ARCHITECT IF A LIGHT FIXTURE OR OTHER UTILITY HAS BEEN BUILT WITHIN 4" DEPTH OF 4 - 6". REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- 9.REFER TO TYPICAL PLANTING DETAILS FOR PLANT INSTALLATION.
- 10.KEEP ADJACENT PAVINGS AND CONSTRUCTION CLEAN AND MAINTAIN WORK AREA IN AN ORDERLY CONDITION FOR THE DURATION OF THE PROJECT.
- 11.PROTECT EXTERIOR PLANTS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS OR OTHER OPERATIONS BY OTHER CONTRACTORS BEING PERFORMED ON THE SITE. PROTECTION IS TO BE MAINTAINED FOR THE DURATION OF INSTALLATION AND MAINTENANCE PERIODS.
- 12.TREAT, REPAIR, OR REPLACE DAMAGED EXTERIOR PLANTING.
- 13.REMOVE SURPLUS SOIL/WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- 14.PROVIDE OWNER WITH A WRITTEN WARRANTY FOR LABOR AND MATERIALS.
- 15.PROVIDE AND INSTALL ANY AND ALL LANDSCAPE PROTECTION REQUIRED FOR DEER RUT SEASON.

THE CONTACTOR'S WARRANTY SHALL INCLUDE:

- 1.A WARRANTY FOR EXTERIOR PLANTS AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
- 2.SPECIFIC WARRANTY PERIODS FOR TREES AND SHRUBS. SEED INSTALLATION, GROUND COVERS, AND OTHER EXTERIOR PLANTS.
- 3.THE SERVICES OF MAINTAINING UPRIGHT POSITION OF EXTERIOR PLANTINGS DURING WARRANTY PERIOD, IMMEDIATE REMOVAL OF DEAD EXTERIOR PLANTS AND IMMEDIATE REPLACEMENT (UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON,) AND THE REPLACEMENT OF EXTERIOR PLANTS MORE THAN 25% DEAD OR IN UNHEALTHY CONDITION AT END OF WARRANTY PERIOD.

*THE ABOVE WARRANTY SHALL BE LIMITED TO ONE REPLACEMENT OF EACH EXTERIOR PLANT, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE OF CONTRACTOR TO COMPLY WITH REQUIREMENTS.

NOTE: LANDSCAPE ARCHITECT MAY OBSERVE TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. LANDSCAPE ARCHITECT RETAINS RIGHT TO OBSERVE TREES AND SHRUBS FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.

PREPARATION AND PLANTING

- TOPSOIL SHALL BE ASTM D 5268, PH RANGE OF 5.5 TO 7, A MINIMUM OF 4% ORGANIC MATERIAL CONTENT; FREE OF STONES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- COMPOST SHALL BE WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE DEPARTMENT OF TRANSPORTATION "CONSTRUCTION AND PROJECT MANAGEMENT SPECIFICATIONS." IN THE EVENT OF A CONFLICT, THE MORE STRINGENT STANDARD SHALL APPLY.

IN THE EVENT OF A CONFLICT BETWEEN THE LANDSCAPE PLAN AND THE PLANT KEY, THE LANDSCAPE PLAN PREVAILS. CONTACT THE LANDSCAPE ARCHITECT FOR CLARIFICATION.

ALL STREET TREES SHALL BE CENTERED BETWEEN THE WALK AND CURB OF THE TREE LAWN EXCEPT WHERE PROHIBITED BY UTILITIES.

Type of Plants Normal Planting Dates

Non-Container Grown, Deciduous: October 1 to April 1

Non-Container Grown, Other: October 1 to May 1

Container Grown:Year-Round if suitable precautions are taken to protect the stock from extremes of moisture and temperature. If there is doubt, obtain a variance or a performance bond.

MULCH TO BE FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, GRADE A MATERIALS APPLY TO 100 PERCENT OPACITY TO LAST 7 MONTHS WITHOUT ANY ADDITIONAL TOP DRESSING. DEPTH WILL VARY DEPENDING ON PRODUCT INSTALLED. TYPICALLY 3"DEPTH

PROVIDE CLIENT OR CLIENT REPRESENTATIVE WITH PRICE AND A SAMPLE OF THE FOLLOWING OPTIONS

- LONG LASTING DYED BLACK MULCH DOUBLE SHREDDED
- DYED BROWN MULCH DOUBLE SHREDDED
- DOUBLE SHREDDED HARDWOOD BLEND
- CYPRESS MULCH
- MINI PINE NUGGET
- MINI PINE FINES
- PINE STRAW
- PREMIUM WOOD CHIP
- WOOD CHIP

- TO 55 % BY WEIGHT; 100 % PASSING THROUGH ONE INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS PER METER; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
- FERTILIZER TO BE SLOW-RELEASE, GRANULAR OR PELLETED CONSISTING OF 50 PERCENT WATER-INSOLUBLE NITROGEN, PHOSPHORUS, AND POTASSIUM IN AMOUNTS RECOMMENDED FOR TYPE OF PLANT BEING GROWN.
 - LOCATE ALL UNDERGROUND UTILITIES PRIOR TO STARTING WORK. IF A PLANT IS SHOWN ON THE PLAN WITHIN THREE FEET OF AN UNDERGROUND UTILITY, NOTIFY LANDSCAPE ARCHITECT FOR ADJUSTMENT INSTRUCTIONS.
 - PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES, AND LAWNS AND EXISTING EXTERIOR PLANTS FROM DAMAGE CAUSED BY PLANTING OPERATIONS.
 - PROVIDE EROSION-CONTROL MEASURES TO PREVENT EROSION OR DISPLACEMENT OF SOILS AND DISCHARGE OF SOIL-BEARING RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.
 - LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE EXTERIOR PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, ADJUST LOCATIONS WHEN REQUESTED, AND OBTAIN LANDSCAPE ARCHITECT'S ACCEPTANCE OF LAYOUT BEFORE PLANTING. MAKE MINOR ADJUSTMENTS AS REQUIRED.
 - TREES SHALL BE SITED IN FIELD BY LANDSCAPE ARCHITECT WHERE NOTED ON PLANS.

PLANTING BEDS ARE TO BE PREPARED AS FOLLOWS:

- LOOSEN SUBGRADE TO A DEPTH OF 4 - 6". REMOVE STONES LARGER THAN 1" IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
- SPREAD COMPOST AT A DEPTH OF 4 - 6" AND TILL WITH LOOSENED SUBGRADE, MIXING THOROUGHLY.
- GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- EDGE BEDS 3 - 4" DEEP (SEE DETAIL).
- ADDITIONAL PREPARATION FOR PERENNIAL BEDS: PROVIDE A TOTAL OF 6" OF COMPOST AND 6" UNSHREDDED TOPSOIL, THOROUGHLY BLEND MIXTURE. DO NOT COMPACT MULCH WITH MINI-PINE NUGGETS TO 100% COVERAGE. LANDSCAPE ARCHITECT TO OBSERVE AND APPROVE.
- ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS ARE TO BE MULCHED AT A DEPTH OF 3". APPLY PRE-EMERGENT HERBICIDE BEFORE MULCHING PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

*ALL PLANTS ARE TO BE INSTALLED WITH ORGANIC BIO-TONE STARTER (A MYCORRHIZAL FUNGI STIMULANT) AND TRICHODERMA ABSORBENT GEL, PER MANUFACTURERS SPECIFICATIONS ON INSTALLATION MEANS AND METHODS AND APPLICATION RATES.

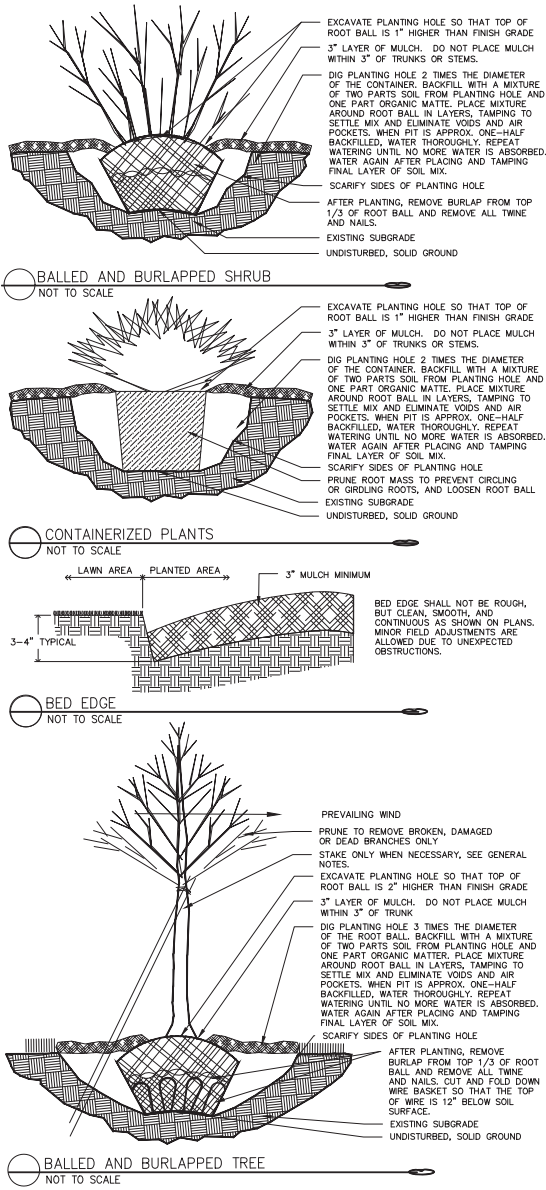
*FOR ALL PLANT MATERIALS, PRUNE TO REMOVE DEAD OR INJURED BRANCHES ONLY, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT.

THE SEED CONTRACTOR SHALL:

- 1.PERFORM A SOIL TEST FOR SEED NEEDS AND FERTILIZE AS REQUIRED FOR SUCCESSFUL GERMINATION.
- 2.TILL AREA TO BE SEEDED TO A DEPTH OF 4". RAKE TILLED AREA TO REMOVE DEBRIS 1" OR LARGER IN SIZE THAT HAS BEEN BROUGHT TO THE SURFACE DURING TILLING.
- 3.SEED WITH APPROPRIATE MIXTURE AT THE MANUFACTURER'S WRITTEN RECOMMENDED RATE.
- 4.RAKE SEED LIGHTLY INTO TOP OF TOPSOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
- 5.PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 1:6 AND/OR SWALES/ AREAS OF HIGHER WATER FLOW WITH EROSION-CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. *SEED CONTRACTOR SHALL IDENTIFY THESE POTENTIAL AREAS OF EROSION AND PROVIDE MEANS TO MITIGATE SUCH.
- 6.PROTECT ALL OTHER SEEDED AREAS BY SPREADING STRAW MULCH AT A UNIFORM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1-1/2" IN LOOSE DEPTH OVER
- 7.SEED INSPECTION SHALL BE PERFORMED TO WARRANT A 90% GERMINATION, YIELDING 80% OPACITY WITHIN 90 DAYS OR INSTALLATION.
- 8.SEED ONLY AS THE WEATHER AND TEMPERATURE ALLOWS FOR SUCCESS.

PLANT KEY			
Count	SIZE	COMMON	LATIN
6	2 in	Skyline Honeylocust	Gleditsia triacanthos inermis 'Skyline'
4	5 gal	Staghorn Sumac	Rhus typhina
1	5 gal	Tiger Eyes Cutleaf Sumac	Rhus typhina 'Tiger Eyes'
10	3 gal	Gold Coast Juniper	Juniperus chinensis 'Gold Coast'
16	3 gal	Gold Lace Juniper	Juniperus chinensis 'Gold Lace'
11	3 gal	Old Gold Juniper	Juniperus chinensis 'Old Gold'
7	6 ft	Taylor Juniper	Juniperus virginiana 'Taylor'
7	3 gal	Karl Foerster Feather Reed Grass	Calamagrostis acutiflora

LANDSCAPE CONTRACTOR MUST PERFORM A SOIL TEST TO DETERMINE FERTILIZATION NEEDS AND OPTIMAL GRASS SEED BLEND



ABSOLUTELY NO PLANT SUBSTITUTIONS WITHOUT WRITTEN PERMISSION OF THE MUNICIPALITY ZONING STAFF, CLIENT REPRESENTATIVE, AND/OR LANDSCAPE ARCHITECT (GAYLE A. FRAZER)

GAYLE A. FRAZER
REGISTERED LANDSCAPE ARCHITECT

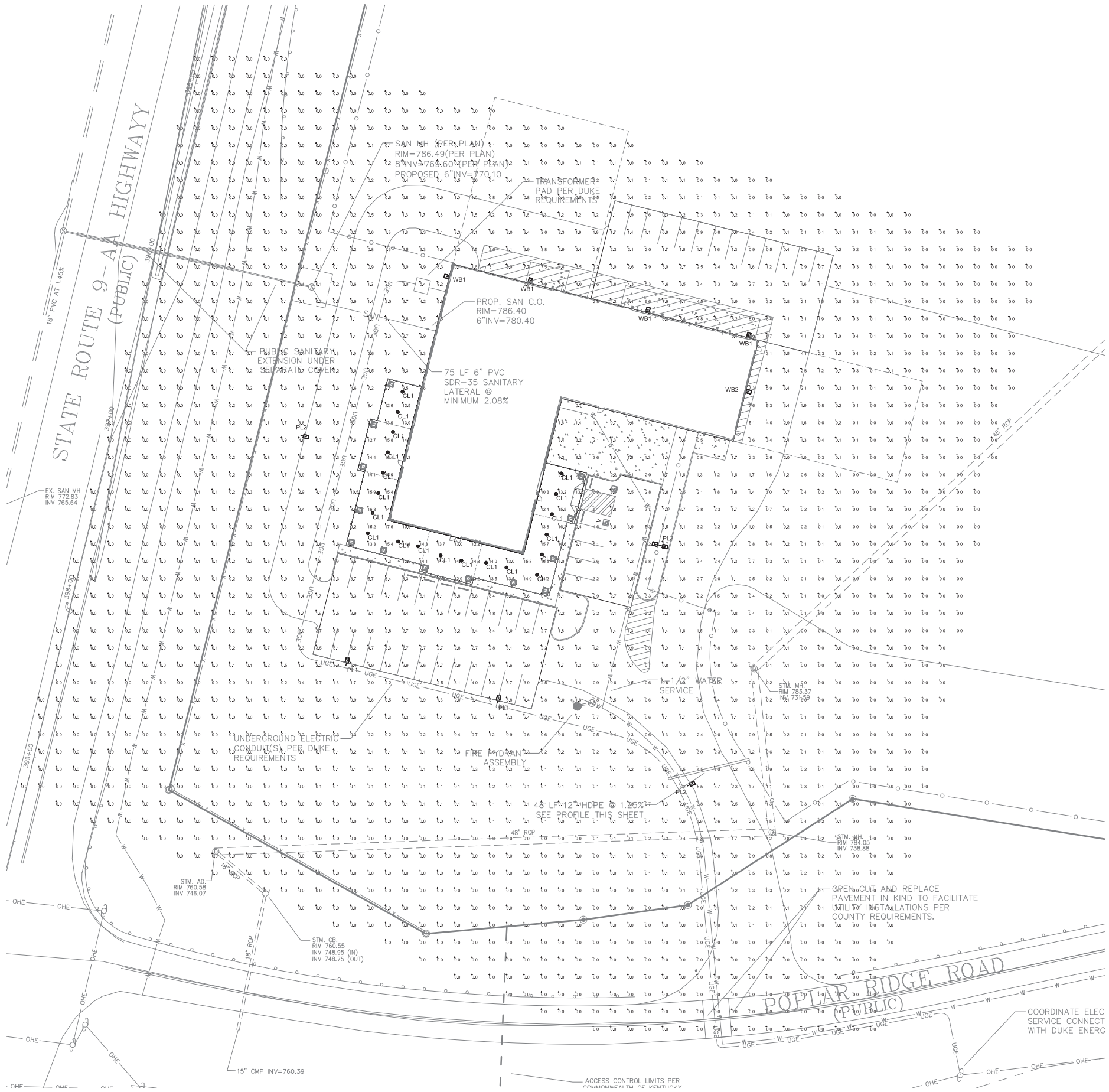
KUBOTA
POPLAR RIDGE ROAD
ALEXANDRIA, KY

SPECIFICATIONS AND NOTES

3/13/2024

REVISIONS:

L2



Luminaire Schedule						
Project: Kubota - Site						
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens Watts Total Watts
	20	CL1	Single	Lithonia VCPG LED P5 40K T5W MVOLT SRM FINISH	0.903	10884 82.14 1642.8
	2	PL1	Single	Lithonia RSXT P4 40K R4 MVOLT SPA FINISH / SSS 20 4C DM18AS FINISH	0.903	16673 133.14 266.28
	2	PL2	Single	Lithonia RSXT P4 40K R3 MVOLT SPA FINISH / SSS 20 4C DM18AS FINISH	0.903	16359 133.14 266.28
	1	PL3	Back-Back	Lithonia RSXT P4 40K R3 MVOLT SPA FINISH / SSS 20 4C DM28AS FINISH	0.903	16359 133.14 266.28
	4	WB1	Single	Lithonia RSXT P4 40K R4 MVOLT WBA FINISH	0.903	16673 133.14 532.56
	1	WB2	Single	Lithonia RSXT P4 40K R3 MVOLT WBA FINISH	0.903	16359 133.14 133.14

Calculation Summary						
Project: Kubota - Site						
Label	CatcType	Units	Avg	Max	Min	Avg/Min
CalcPs taken Overall	Illuminance	Fc	1.22	17.8	0.0	N/A
StdArea - Canopy	Illuminance	Fc	13.85	17.8	9.4	1.47
StdArea - East Parking Lot	Illuminance	Fc	4.31	8.1	2.5	1.72
StdArea - North Parking Lot	Illuminance	Fc	3.19	8.6	0.4	7.58
StdArea - South Parking Lot	Illuminance	Fc	3.96	8.4	2.1	1.89

NOTES:
TYPE CL1 - FIXTURES ARE MOUNTED AT 14'-0" A.F.G.
TYPE PL1, PL2, & PL3 - FIXTURES ARE MOUNTED AT 22'-6" A.F.G. (24'-0" POLE & 2'-6" BASE)
TYPE WP1 & WP2 - FIXTURES ARE MOUNTED ON BLDG AT 18'-0" A.F.G.

IF USING PRODUCTS WITH SELECTABLE KELVIN TEMPERATURES AND/OR ADJUSTABLE LUMEN PACKAGES, PLEASE ENSURE THOSE FIXTURES ARE SET IN THE FIELD TO THE DESIGN PROVIDED ON THIS DRAWING

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Design Criteria

DESIGN FILE: Kubota_Site040324.agi		FIXTURE LAYOUT IS BASED ON A 0.80 LIGHT LOSS FACTOR AND REFLECTANCE VALUES UNLESS NOTED OTHERWISE.	
MINIMUM: MAXIMUM: AVERAGE:	AVE./MIN: MAX./AVE: MAX./MIN:	INTERIOR LIGHTING LEVELS ARE SHOWN AT 0'-0" A.F.G. UNLESS NOTED OTHERWISE	EXTERIOR LIGHTING LEVELS ARE SHOWN AT 0'-0" A.F.G. UNLESS NOTED OTHERWISE



King Lighting, Inc.
700 West Pete Rose Way - Suite 215
Cincinnati, OH 45203
(859) 261-5511 Fax (859) 261-2228
www.king-lighting.com

Lighting Calculations for

Kubota - Site
Firenze, KY

LIGHTING SITE PLAN	SCALE 1"=30'-0"	DESIGNER JJ	CHECKED JJ	DATE 04/03/24	SHEET S1
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Disclaimer:
AGI and Genlyte has made great efforts to ensure the accuracy of their program, however AGI, Genlyte and King Lighting Inc. assume no liability for the decisions made with the assistance of these design programs. Actual light levels generated by installed luminaires may differ from the light levels predicted by AGI or GENESYS for a number of reasons including (but not limited to) electrical supply, equipment tolerances, installation details, lamp/ballast interaction, thermal factors and obstructions from within the space.

SANITARY SEWER IMPROVEMENTS CITY OF ALEXANDRIA CAMPBELL COUNTY, KENTUCKY

[illegible]

CARDINAL
ENGINEERING
AND SURVEYING
ONE MOOCK ROAD
MILDER, KENTUCKY 41071
PHONE (859) 581-9600

WEBSITE: <http://www.cardinalengineering.net>

ZONING:
ALEXANDRIA PLANNING
AND ZONING COMMISSION
8236 WEST MAIN STREET
ALEXANDRIA, KENTUCKY 41001
(859) 635-4125

WATER:
NORTHERN KENTUCKY WATER DISTRICT
2835 CRESCENT SPRINGS ROAD
P.O. BOX 18640
ERLANGER, KY 41018
(859) 578-9898

SEWER:
SANITATION DISTRICT NO. 1
1045 EATON DRIVE
FORT WRIGHT, KENTUCKY 41011
(859) 578-7450

ELECTRIC:
DUKE ENERGY
1262 COX ROAD
ERLANGER, KENTUCKY 41018
(513) 287-3589


GAS:
DUKE ENERGY
1262 COX ROAD
ERLANGER, KENTUCKY 41018
(859) 287-5408

TELEPHONE:
CINCINNATI BELL TELEPHONE COMPANY
201 EAST FOURTH STREET
103-1175
CINCINNATI, OHIO 45202
(513) 566-7185

CABLE TELEVISION:
SPECTRUM COMMUNICATIONS
7906 DIXIE HIGHWAY
FLORENCE, KENTUCKY 41076
(888) 735-0300

OTHER UTILITIES:
UNITED UTILITIES PROTECTION
(800) 752-6007

[illegible]

DRAWN BY:	SEAL
JKT	
CHECKED BY:	
JDM	
PROJECT MANAGER:	
JDM	

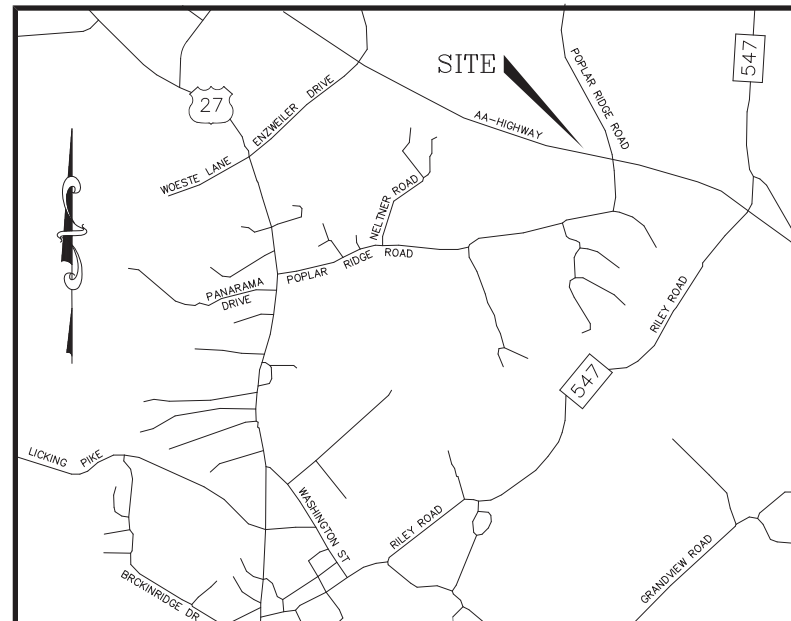
PROJECT NO. 23-119	
SCALE	AS NOTED
DATE	09-22-23

TITLE/MICINITY MAP

SHEET C-000

LEGEND

	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	ELECTRIC BOX
	ELECTRIC MANHOLE
	ANCHOR POLE
	LIGHT POLE
	UTILITY POLE
	GROUND LIGHT
	OVERHEAD TELEPHONE
	UNDERGROUND TELEPHONE
	TELEPHONE BOX
	TELEPHONE MANHOLE
	BOLLARDS
	SIGN
	MAIL BOX
	WATER LINE
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	WATER VALVE BOX
	WATER VALVE MANHOLE
	POST INDICATOR VALVE
	GAS LINE
	GAS METER
	GAS VALVE
	GAS VALVE BOX
	UTILITY MANHOLE
	SEWER MANHOLE
	STORM MANHOLE
	DITCH OR CREEK
	GUARDRAIL
	FENCE LINE
	R/W FENCE LINE



VICINITY MAP
N.T.S.


C-000 - TITLE/VICINITY MAP
C-100 - SPECIFICATIONS & DETAILS
C-200 - PLAN AND PROFILE

GENERAL NOTES:

JASON BURLAGE OF SD1 IS TO BE CONTACTED AT 859-578-6892 AT LEAST 72 HOURS PRIOR TO ALL LAND DISTURBING ACTIVITIES.

DOUG MALONE OF SD1 IS TO BE CONTACTED AT 859-578-6749 AT LEAST 72 HOURS PRIOR TO INSTALLATION OF THE PUBLIC SANITARY SEWER.

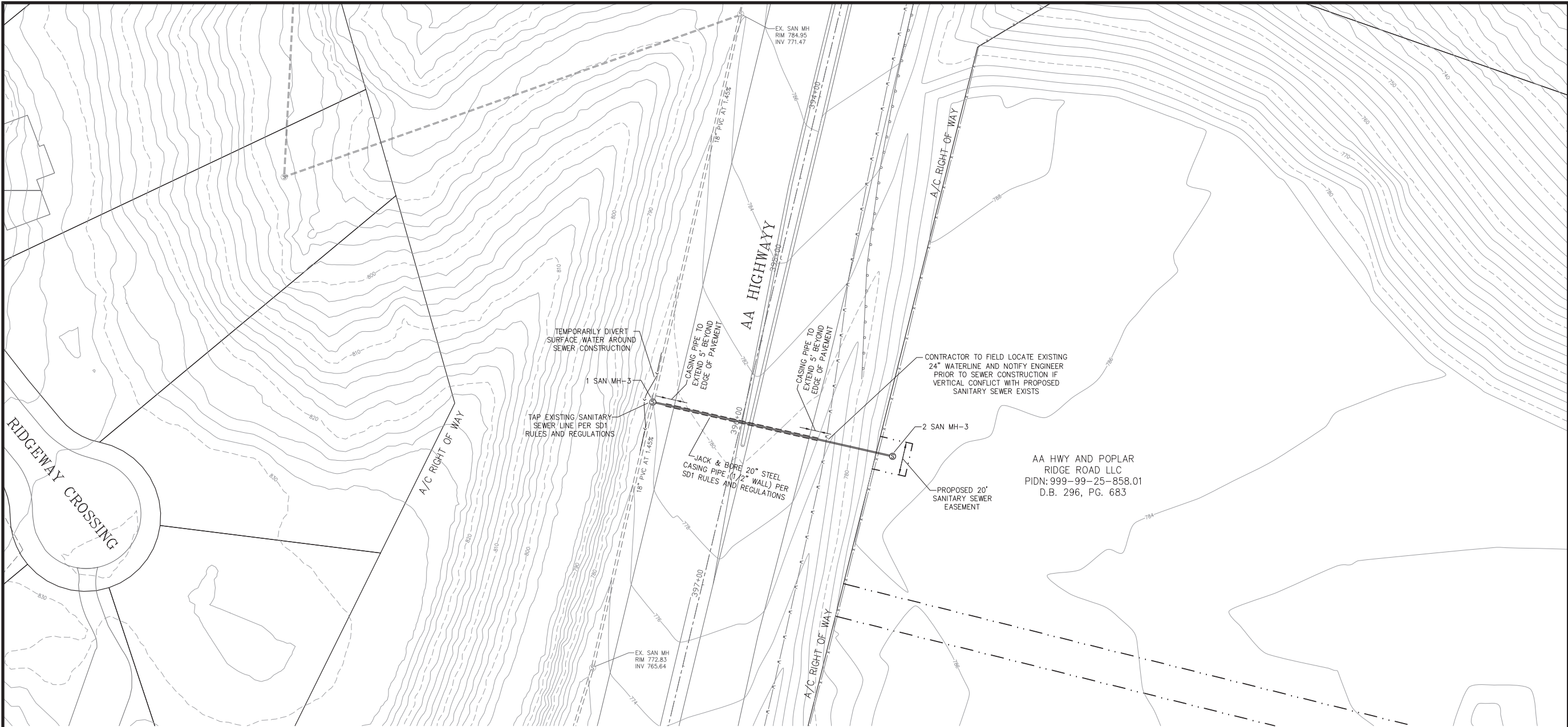
BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THE PLANS ARE MINIMUM. THE CONTRACTOR SHALL REVISE AND PROVIDE ADDITIONAL BMP'S AS DEEMED NECESSARY PER SECTION 700 OF THE SANITATION DISTRICT NO. 1'S RULES AND REGULATIONS.


BASIS OF ELEVATION:
 THE STATION IS A BRONZE NKAPC CONTROL MARK STAMPED
 "NK1244Z 2002" SET ON A 12" DIAMETER 3' DEEP CONCRETE
 POST FLUSH WITH THE GROUND. ELEV. 623.80
 STATION IS LOCATED 1.25 MI. SOUTH OF CAMP SPRINGS, EAST OF
 KY-9 (AA HWY.). FROM THE JUNCTION OF NB KY-9 (AA HWY)
 WITH THE KY-9 OFF/ON RAMP TO/FROM EB KY-547
 (ALEXANDRIA-4 MILE ROAD) GO 0.25 MI. NW ON KY-9 TO THE
 STATION ON THE RIGHT.



NOTE:
UNDERGROUND UTILITIES ARE SHOWN BASED
ON ABOVE GROUND OBSERVATIONS AND
CONSTRUCTION PLANS PROVIDED TO
CARDINAL ENGINEERING AND MAY NOT BE
COMPLETE OR ACCURATE.

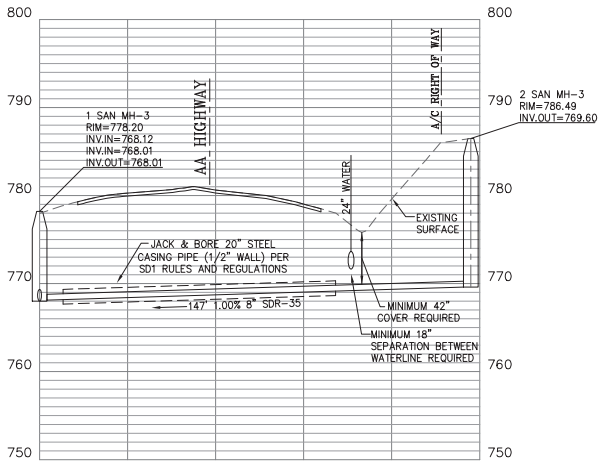
CONTRACTOR TO VERIFY LOCATION AND USE
CAUTION WHEN EXCAVATING IN AREAS OF
SUSPECTED BURIED UTILITIES.



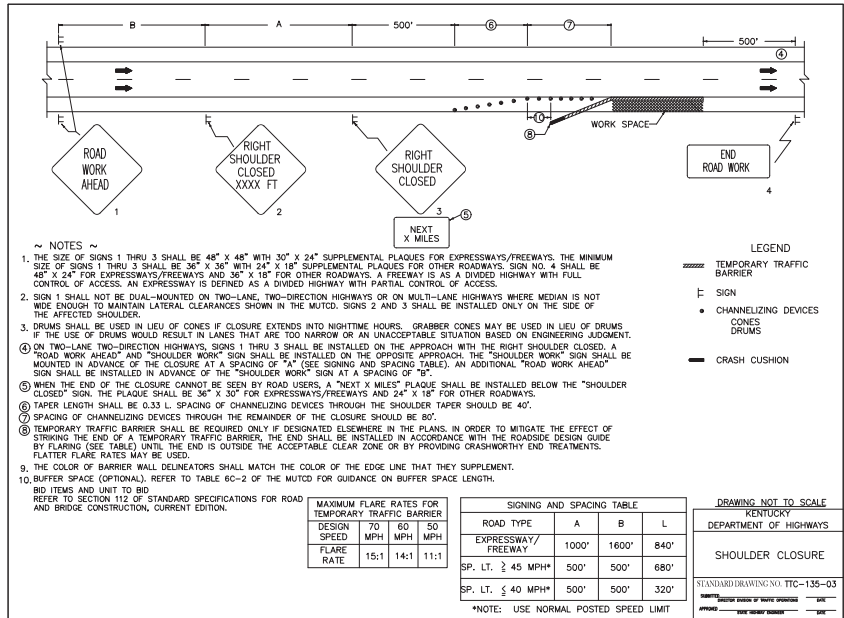
LEGEND	
—OHE—	OVERHEAD ELECTRIC
—UGE—	UNDERGROUND ELECTRIC
□	ELECTRIC BOX
⊙	ELECTRIC MANHOLE
⊙	ANCHOR POLE
☆	LIGHT POLE
⊙	UTILITY POLE
⊙	GROUND LIGHT
—OTE—	OVERHEAD TELEPHONE
—UTE—	UNDERGROUND TELEPHONE
□	TELEPHONE BOX
⊙	TELEPHONE MANHOLE
⊙	BOLLARDS
⊙	MAIL BOX
—W—	WATER LINE
⊙	WATER VALVE
⊙	FIRE HYDRANT
⊙	WATER METER
⊙	WATER VALVE BOX
⊙	WATER VALVE MANHOLE
⊙	POST INDICATOR VALVE
—G—	GAS LINE
⊙	GAS METER
⊙	GAS VALVE
⊙	GAS VALVE BOX
⊙	UTILITY MANHOLE
—S—	SEWER MANHOLE
—D—	DOGHOUSE MANHOLE
—C—	DITCH OR CREEK
—G—	GUARDRAIL
—X—	FENCE LINE
—XX—	R/W FENCE LINE

NOTES:

- PROPOSED MANHOLE 1 SHALL BE A PRECAST MANHOLE BASE UNLESS IT IS DETERMINED THE EXISTING SANITARY FLOWS ARE TOO MUCH TO BYPASS. TO BE VERIFIED BY SD1'S ONSITE INSPECTOR.
- DOGHOUSE MANHOLE TO BE USED IF PRECAST MANHOLE BASE CANNOT BE UTILIZED. SEE DETAIL 4/C-100.
- REFER TO SHOULDER CLOSURE DETAIL ON THIS SHEET FOR SHOULDER CLOSURES ALONG AA HIGHWAY DURING CONSTRUCTION.



SANITARY SEWER PROFILE
HORIZONTAL SCALE: 1"=30'
VERTICAL SCALE: 1"=10'



REVISIONS
DATE # ITEM

10-17-23	1	REVISIONS PER SD1 & KYTC

CARDINAL
ENGINEERING
LAND SURVEYING
ONE MOOCK ROAD
WILDER, KENTUCKY 41071
PHONE (859) 581-9600

WEBSITE: <http://www.cardinalengineering.net>

SANITARY SEWER IMPROVEMENTS
POPLAR RIDGE KUBOTA DEALERSHIP

CLIENT:
KTT PROPERTIES, LLC
130 MT. ZION ROAD
FLORENCE, KY 41042

JOB LOG
DATE ITEM

DRAWN BY: JKT
CHECKED BY: JCK
PROJECT MANAGER: JDM

SEAL
STATE OF KENTUCKY
JOSHUA D. MCINTOSH
23723
LICENSED PROFESSIONAL ENGINEER

PROJECT NO. 23-119
SCALE 1" = 30'
DATE 09-22-23
PLAN & PROFILE
SHEET C-200



10/27/2023

Kelly Craddock
KTT Properties, LLC
130 Mt. Zion Road, Florence, KY 41042

RE: Poplar Ridge Kubota Dealership - Sanitary Sewers

Kelly Craddock:

Your application for Sanitary Sewer Extension for the above mentioned project has been reviewed and approved by SD1. At this time your application has been forwarded to Kentucky Division of Water for final review. Work may not commence until the approval letter from the Kentucky Division of Water has been received.

In no event shall SD1's issuance of this approval be construed as relieving you from obtaining all other applicable local, state or federal permits and/or licenses prior to performing any work.

Please contact our inspection coordinator, Doug Malone, at 859-578-6749 at least 72 hours prior to the installation of the public sanitary sewers.

Upon completion of the installation of the proposed sewer, SD1 will accept the new infrastructure for ownership and maintenance with the following conditions:

- A passing vacuum test on each new manhole has been performed, and observed by an SD1 inspector.
- Passing air and mandrel tests on all new lines 8" and larger have been performed, and observed by an SD1 inspector.
- An SD1 inspector approves the work and material, based on visual inspection.
- As-built rim and invert elevations, as well as center to center distance to the downstream manhole are submitted to SD1.
- A 20' wide public easement is provided for all publicly dedicated sewers.
- Provide a quit claim of easement for any portion of public sewer being abandoned. SD1 can provide a template for the Easement for Sewer and the Quit Claim of Easement upon request. (if applicable)
- Compaction test results are provided for any areas where new sanitary sewer is constructed on fill.

A One Year Warranty period will commence on the date of acceptance.

If you have any questions or comments regarding this notice, please contact me at 859-578-6880 or by email at aaman@sd1.org.

Best Regards,



Jared Ison
Development Services Coordinator
SD1 Development Services Group

cc: Josh McIntosh - Cardinal Engineering (*via email only*)