

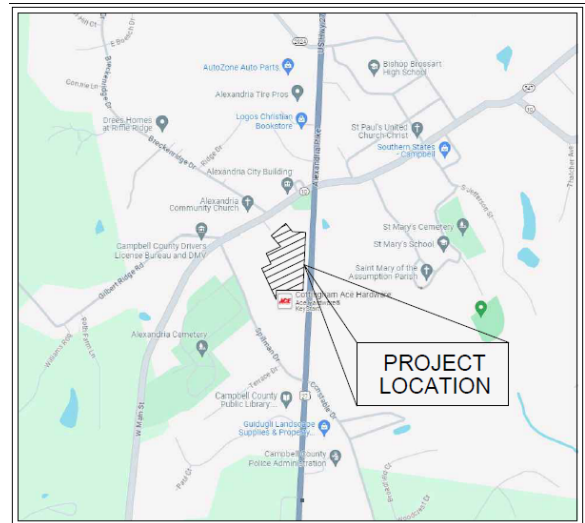
**July 19, 2024**

**City of Alexandria Planning and Zoning Commission**  
Staff Comments, Findings, and Recommendations

Issue to be heard: Tuesday August 6, 2024 at 7:00 PM (EST)  
8236 W. Main St.  
Alexandria, KY 41001

The Alexandria Planning and Zoning Commission will hold a Public Hearing for the following case:

Case: PZ-24-023  
Applicant: JEFFREY R. ANDERSON REAL ESTATE, INC.  
Location: SOUTHWEST CORNER MAIN STREET AND US 27 (999-99-26-066.00)  
Request: APPROVAL OF SITE DEVELOPMENT PLAN FOR A GAS STATION AND CONVENIENCE STORE



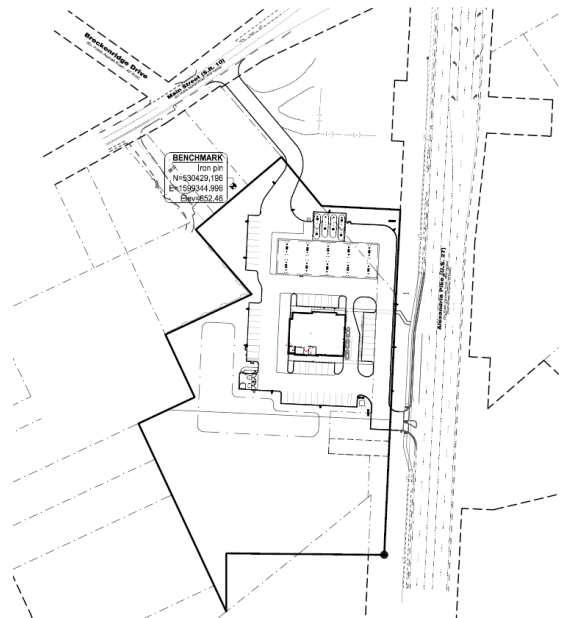
Information concerning this case was available for review at the Campbell County Planning Office, 1098 Monmouth Street, Suite 343, Newport, KY. Monday-Friday during normal business hours.

**Overview:**

The applicant intends to construct a Convenience store (WAWA Store #7622) located in the southwest corner of Main Street (State Route 10) and Alexandria Pike (US27) on the parcel identified as 999-99-26-066.00.

Both planning and zoning staff and the City Engineer (CT Consultants) have reviewed the plans. A copy was also forwarded to the Fire Department for review.

The applicants engineer is coordinating with the Kentucky Transportation Cabinet and the applicable utility agencies.



**Regulatory Considerations:**

Alexandria Zoning Ordinance - ARTICLE 2 DEFINITIONS

**SITE PLAN:** A plan prepared to scale showing accurately and with complete dimensions, the location of all proposed uses and all site development features for a specific site. A site plan addresses physical design, location of structures, access management, interior vehicular and pedestrian access, stormwater management, landscaping, signage, provision of all required improvements, and the interrelationship of the various site plan components. A site plan is typically reviewed and approved prior to the issuance of a permit for construction.

Alexandria Zoning Ordinance - ARTICLE 3 GENERAL REGULATIONS**Section 3.14 EXCEPTIONS AND MODIFICATIONS**

D. Request for Variances for Subdivisions - An applicant for approval of a subdivision plat may elect to have the Planning Commission hear any requests for variances proposed in the development. The request for the planning commission to consider the variance and the application for the variance shall be submitted at the time of filing the preliminary subdivision plat. In such cases, the Planning Commission is hereby empowered to hear and finally decide applications for variances pursuant to KRS 100.281 (6). The planning commission in such circumstances shall assume all powers and duties otherwise exercised by the board of adjustment pursuant to KRS 100.281 (7) and Article 15 of the Alexandria Zoning Ordinance. The application for a variance shall be considered at the same public hearing set for the subdivision.

**Section 3.18 SCREENING AREA** - Screening areas shall be provided for the purpose of minimizing the friction between incompatible land uses and improving the aesthetic and functional quality of new development. All screening areas shall be approved and inspected by the Zoning Administrator (or Planning Commission, where required by this ordinance) for compliance with a submitted development or site plan as regulated by the applicable requirements of SECTIONS 3.20 and 3.21 of this ordinance.

- A. Screening areas shall be designed, provided, and maintained according to the following:
1. Where natural vegetation and/or topographical conditions exist prior to development, every effort shall be made to retain said condition, particularly where it provides a natural screening or buffer from adjacent properties. In such cases, additional screening may not be required, provided that provision is made for maintenance of such condition to the satisfaction of the City of Alexandria.
  2. Wherever vegetative screening is required, the specific requirements contained in Article 10 shall be followed.
  3. Whenever structural screening is required, the specific requirements contained in Article 8 shall be followed.

**Section 3.20 DEVELOPMENT PLAN REQUIREMENTS** - All applications for zoning map amendments shall require the submission of a development plan. In accordance with the applicable provisions of KRS 100, the development plan shall be followed. The planning commission, at its discretion, may waive the requirement for the submission of a development plan, if the commission finds that the proposed development poses a minimal impact to the subject property and adjacent properties.

*This site does not include a zone map amendment.*

**Section 3.21 SITE PLAN REQUIREMENTS** - No building shall be erected or structurally altered nor shall any grading take place on any lot or parcel in zones where a site plan is required, except in accordance with the regulations of this Section and an approved site plan as hereinafter required. Before a permit is issued for construction, one (1) copy of the site plan of the area at a scale no smaller than one (1) inch to one hundred (100) feet shall be filed with the Building Inspector, and two (2) copies with the Zoning Administrator. The site plan shall identify and locate, where applicable, the following:

- A. Total area in development project including legal description.
- B. Present zoning of property in question and adjacent properties.
- C. All public and private rights-of-way and easement lines.
- D. The existing and proposed finished topography.
- E. All housing units.
- F. Location, height, arrangement and identification of all non-residential buildings and uses.
- G. All common open space areas, including recreational facilities.
- H. Landscaping features.
- I. Location of signs indicating their orientation, size and height.
- J. All utility lines and easements: Water, Sanitary Sewer, Storm Sewer, Other
- K. Location of all off-street parking, loading and/or unloading, and driveway areas
- L. Circulation System
- M. Provisions for control of erosion, hillside slippage and sedimentation
- N. Lighting plan
- O. Dumpster and/or refuse storage locations
- P. Name, address, and telephone number of owner/developer/engineer/architect.
- Q. The date of preparation of such plan
- R. A schedule of development
- S. Exterior elevations of all proposed buildings

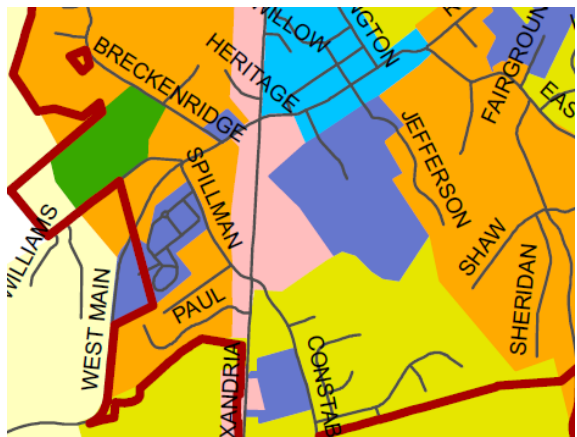


**Site Overview:**

The site is currently undeveloped. A DUKE Substation is immediately to the North of this site. A small City parking lot and monument is to the North. Residential land uses are to the west of the site. A vacant commercial lot and a hardware store is to the south. A vacant bank is across US 27 to the east of the site.

In 2004, fly-ash fill was placed on the site to prepare it for future development. The site is zoned Highway Commercial (HC).

The Existing Land Use Map within the Alexandria 2030 Comprehensive Plan shows the area as undeveloped. The Future Land Use Map indicates a projected future use of the site as “Neighborhood Commercial”.



Residential Uses	Nonresidential Uses
1.1 to 2.0 DU/AC	Neighborhood Commercial
2.1 to 4.0 DU/AC	General Commercial
4.1 to 5.0 DU/AC	Industrial
5.1 to 14.0 DU/AC	Old Town Alexandria
	Parks and Recreation
	Public and Institutional

The City of Alexandria Zoning Ordinance, Section 4.18 (HC) HIGHWAY COMMERCIAL ZONE identifies relevant permitted uses including (excerpted):

- 17. Convenience Store
- 26. Gas/Service Stations



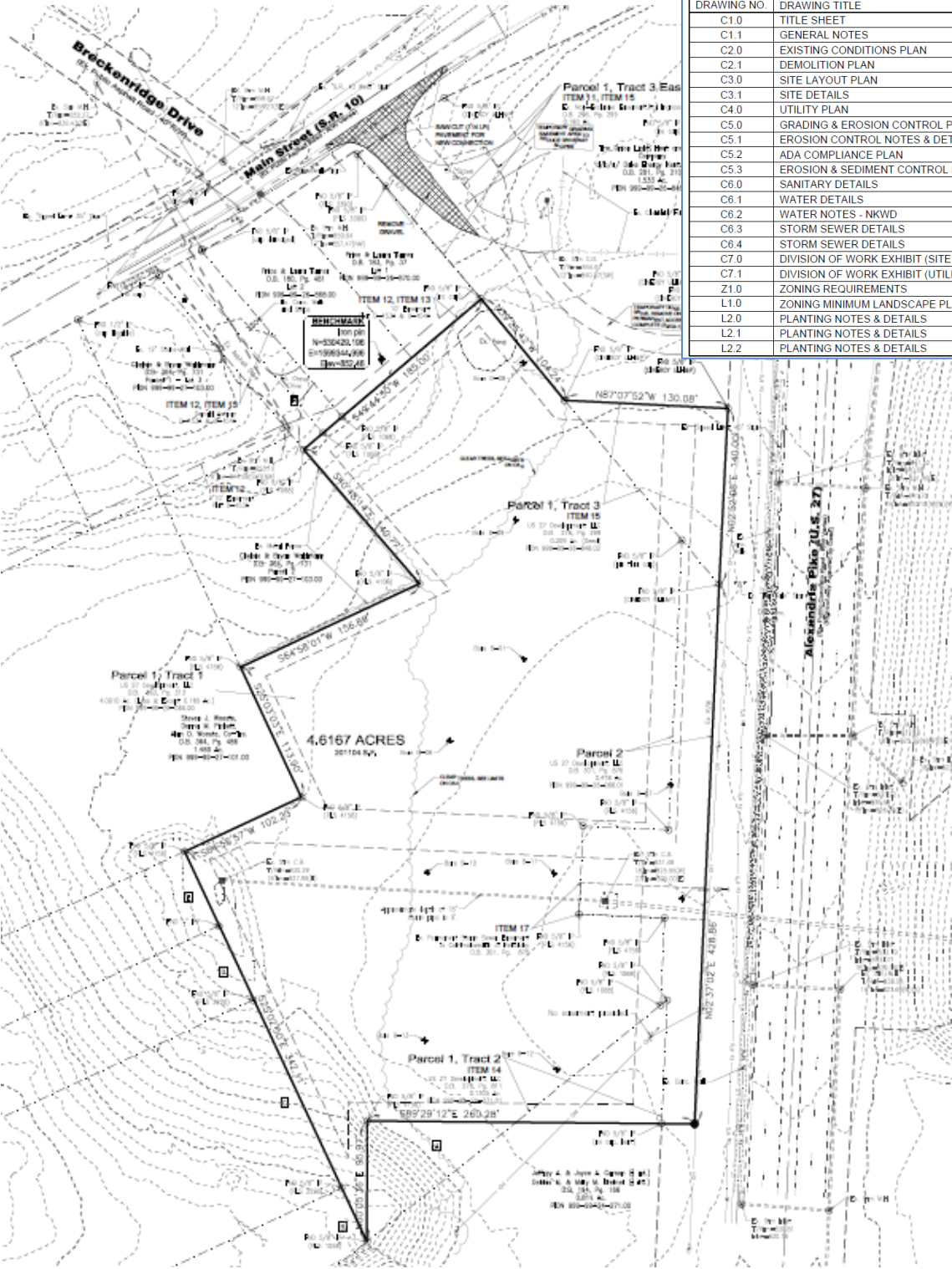
The AREA AND HEIGHT REGULATIONS for the HC Zone includes:

1. Minimum Lot Area – Ten thousand (10,000) square feet.
2. Minimum Lot Width at Building Setback Line – Seventy (70) feet.
3. Minimum Front Yard Depth – Fifty (50) feet.
4. Minimum Side Yard Width on Each Side of Lot – No restrictions except when adjacent to street, road, highway, or other right-of-way when required width shall be the same as required for a minimum front yard depth in this zone.
5. Minimum Rear Yard Depth – Fifteen (15) feet.
6. Maximum Building Height – Forty (40) feet.

Relevant OTHER DEVELOPMENT CONTROLS with the HC Zone include:

2. No outdoor storage of any objectionable material (Useable or waste) shall be permitted in this zone, except within enclosed containers, and all dumpsters, etc. shall be screened from adjacent property.
3. No lighting shall be permitted which would glare from this zone onto any street, road, highway, deeded right-of-way or into any adjacent property.
5. Where any yard of any use permitted in this zone abuts property in a residential zone, a minimum of at least a ten (10') foot wide screening area as regulated by SECTION 3.18 of this ordinance shall be required.
6. A development and/or site plan shall be required of any use permitted in this (HC) zone.
7. No use producing objectionable odors, noise, or dust shall be permitted within five hundred (500) feet from the boundary of any residential zone.
8. Off-street parking and loading and/or unloading areas, located in front and side yard areas in this (HC) zone provided that no off-street parking areas shall be closer than fifteen (15) feet to the street, road, highway or right-of-way line or the boundary line of any adjacent district. This fifteen (15) foot area shall remain open and unobstructed except by items specifically permitted in yard areas in this ordinance.
10. All business activities permitted within this zone shall be conducted within a completely enclosed building with the exception of the following:
  - a. Off-Street parking and loading and/or unloading areas,
  - b. Gasoline pumps,
  - c. New and used car sales,
  - d. Car washes,
  - e. Sidewalk sales and displays as regulated by Section 3.31 of this Official Zoning Ordinance,
  - f. Vending machines, and
  - g. Outdoor merchandising and display and regulated by Section 3.32 of this Official Zoning Ordinance. Provided, however, that the outdoor merchandising and display area for any business may occupy no more square feet of space than an area equal to ten percent (10%) of the square feet of space of the interior, under-roof, enclosed section of the business premises.....

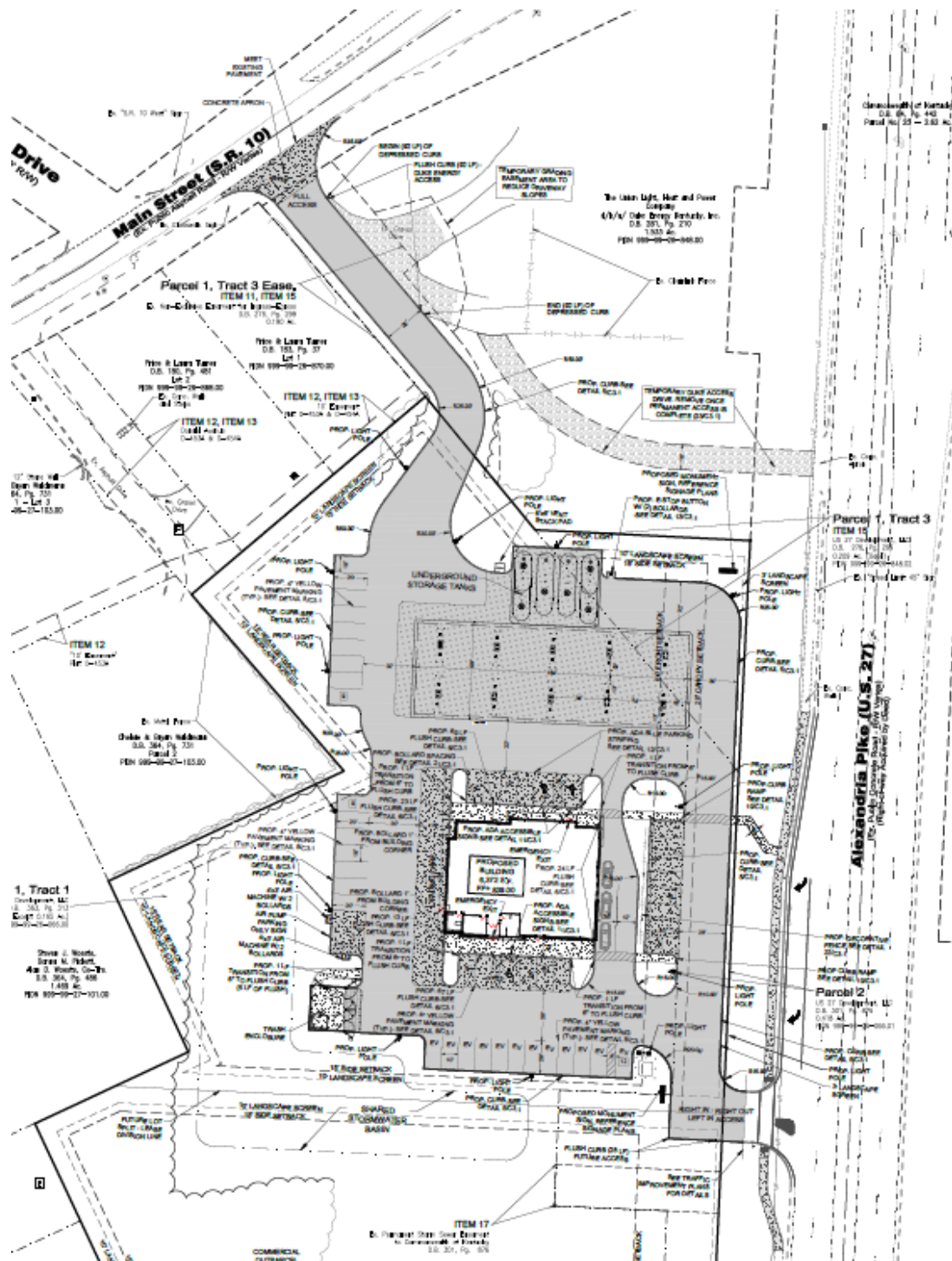
Site Development Plan:



INDEX OF SHEETS	
DRAWING NO.	DRAWING TITLE
C1.0	TITLE SHEET
C1.1	GENERAL NOTES
C2.0	EXISTING CONDITIONS PLAN
C2.1	DEMOLITION PLAN
C3.0	SITE LAYOUT PLAN
C3.1	SITE DETAILS
C4.0	UTILITY PLAN
C5.0	GRADING & EROSION CONTROL PLAN
C5.1	EROSION CONTROL NOTES & DETAILS
C5.2	ADA COMPLIANCE PLAN
C5.3	EROSION & SEDIMENT CONTROL PLAN
C6.0	SANITARY DETAILS
C6.1	WATER DETAILS
C6.2	WATER NOTES - NKWD
C6.3	STORM SEWER DETAILS
C6.4	STORM SEWER DETAILS
C7.0	DIVISION OF WORK EXHIBIT (SITE)
C7.1	DIVISION OF WORK EXHIBIT (UTILITY)
Z1.0	ZONING REQUIREMENTS
L1.0	ZONING MINIMUM LANDSCAPE PLAN
L2.0	PLANTING NOTES & DETAILS
L2.1	PLANTING NOTES & DETAILS
L2.2	PLANTING NOTES & DETAILS



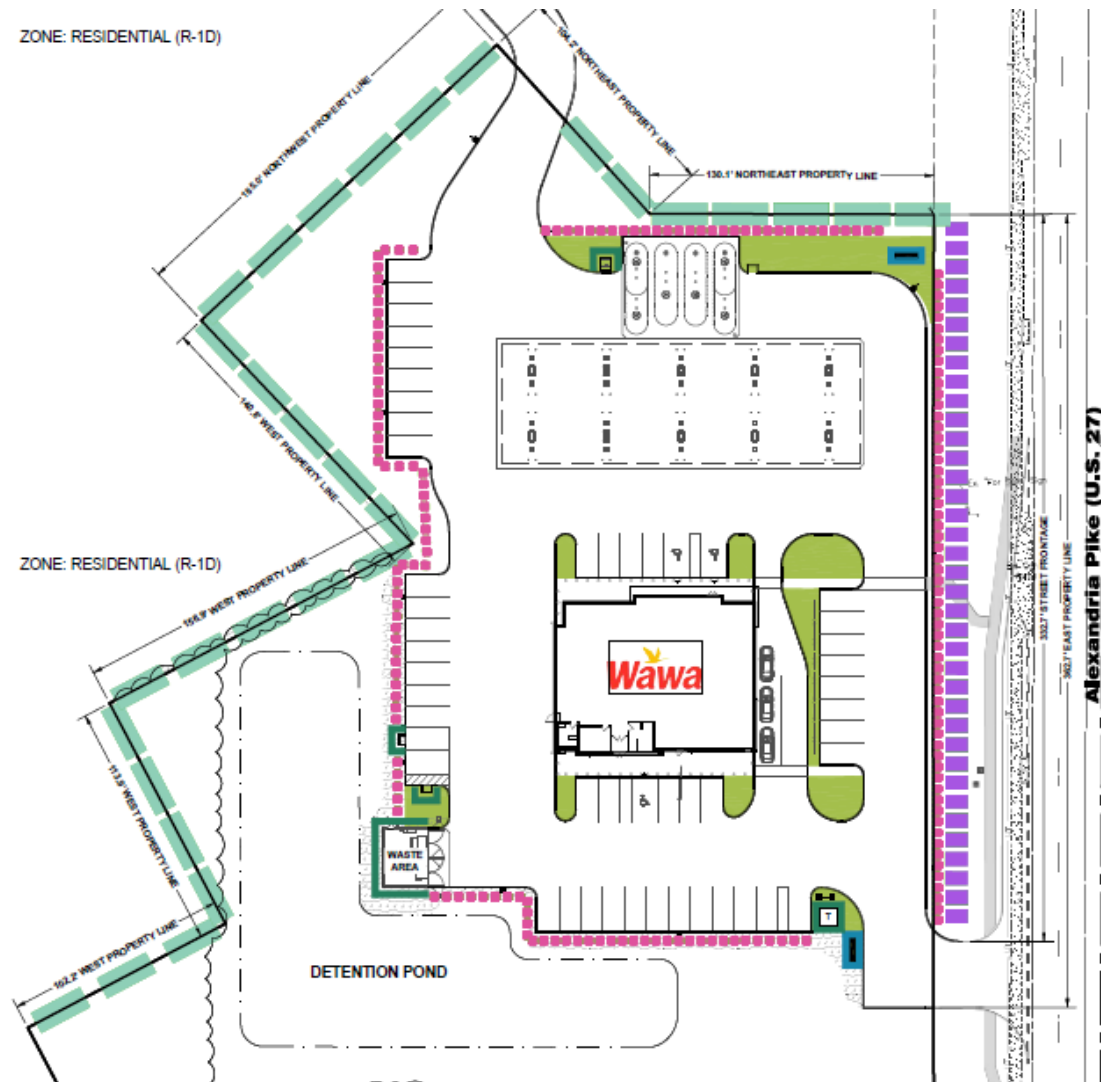
The site development plan was reviewed for consistency with Section 3.21 of the Zoning Ordinance. Plans were submitted both in paper and electric form and comply with the minimum scale. A copy of the plans is attached for your reference. Larger sizes are available upon request.



- A. The parcel is approximately 4.6 acres in size. Two tenants sharing common egress points are proposed for this site. This site development plan only addresses the north tenant (gas station / convenience store).

The site will be accessed via a shared driveway with Duke on Main Street and a limited access driveway on US 27. A temporary construction access for DUKE and the Memorial site from US 27 will be provided.

- B. Survey data is included on the plan. The corresponding legal description of the parcel was obtained from the Campbell County Clerk records.
- C. Present zoning of the property is Highway Commercial (HC) as indicated on the plan. Adjacent parcels were verified from City / County zoning records.
- D. The proposed site plan meets Highway Commercial (HC) zone dimensional requirements. Refer to Sheet Z1.0 for a summary of Zoning Requirements.





- E. All public and private rights-of-way and easement lines located on and adjacent to the property which are proposed to be continued, created, relocated or abandoned are indicated within the site plans.
- F. A traffic impact study was completed through KYTC. This study evaluated the level of service at key locations.

To reduce the eastbound queue on Main Street, split phasing and dual left turn lanes were evaluated for both approaches on Main Street.

**Table 3. 2034 Peak Hour Level of Service**

	A.M.			P.M.		
Approach	2023 Existing	2034 No Build	2034 Build	2023 Existing	2034 No Build	2034 Build
<b>US 27 at KY 10</b>	<b>C</b> <b>27.4</b>	<b>C</b> <b>31.3</b>	<b>D</b> <b>36.7</b>	<b>B</b> <b>19.2</b>	<b>C</b> <b>21.2</b>	<b>C</b> <b>24.0</b>
KY 10 Eastbound	E 57.2	E 55.7	E 77.1	D 48.6	D 49.7	E 77.4
KY 10 Westbound	E 62.8	E 63.0	D 54.0	E 57.0	E 65.9	E 66.5
US 27 Northbound	C 22.6	C 28.1	C 31.2	B 12.3	B 13.2	B 12.8
US 27 Southbound	B 14.7	B 17.7	C 20.9	B 13.3	B 14.7	B 14.7
<b>KY 10 at Alexandria City Hall</b>						
KY 10 Eastbound	A 7.6	A 7.6	A 7.6	A 7.9	A 8.0	A 8.0
KY 10 Westbound	A 7.7	A 7.7	A 7.9	A 7.5	A 7.6	A 7.7
Driveway Northbound	B 11.7	B 12.2	B 14.8	B 12.3	B 12.9	B 12.6
City Hall Southbound	B 11.7	B 12.2	C 22.1	B 12.7	B 13.5	C 17.5
<b>KY 10 at Breckenridge Drive</b>						
KY 10 Eastbound (Left)	A 7.7	A 7.7	A 7.8	A 7.9	A 8.0	A 8.1
Breckenridge Drive Southbound	B 11.7	B 12.3	B 12.9	B 11.7	B 12.3	B 12.7
<b>US 27 at Entrance</b>						
Driveway Eastbound			B 12.5			C 25.0
US 27 Northbound (Left)			B 11.6			C 19.9

*Key: Level of Service, Delay in seconds per vehicle*

For the eastbound approach to create the dual left, creating a shared thru/right lane is recommended due to the small volume of right turning vehicles during the peak hours.

For the westbound approach a shared left/thru is recommended. This solution does reduce the queues on the eastbound approach in the a.m. peak hour without a significant increase in delay to the intersection.

**Table 4. 2034 Peak Hour Compare to Split Phase**

Approach	A.M.		P.M.	
	2034 Build	2034 Split Phase	2034 Build	2034 Split Phase
<b>US 27 at KY 10</b>	<b>D</b> <b>36.7</b>	<b>D</b> <b>41.0</b>	<b>C</b> <b>24.0</b>	<b>C</b> <b>34.1</b>
KY 10 Eastbound	E 77.1	E 76.6	E 77.4	D 51.1
Queue	545'	271.9	300'	118.1'
KY 10 Westbound	D 54.0 338'	E 76.1 286.8'	E 66.5 339'	D 50.6 212'
US 27 Northbound	C 31.2 834'	C 28.1 867.4'	B 12.8 248'	C 26.4 363.7'
US 27 Southbound	C 20.9 347'	B 17.7 357'	B 14.7 438'	C 32.9 678.1'

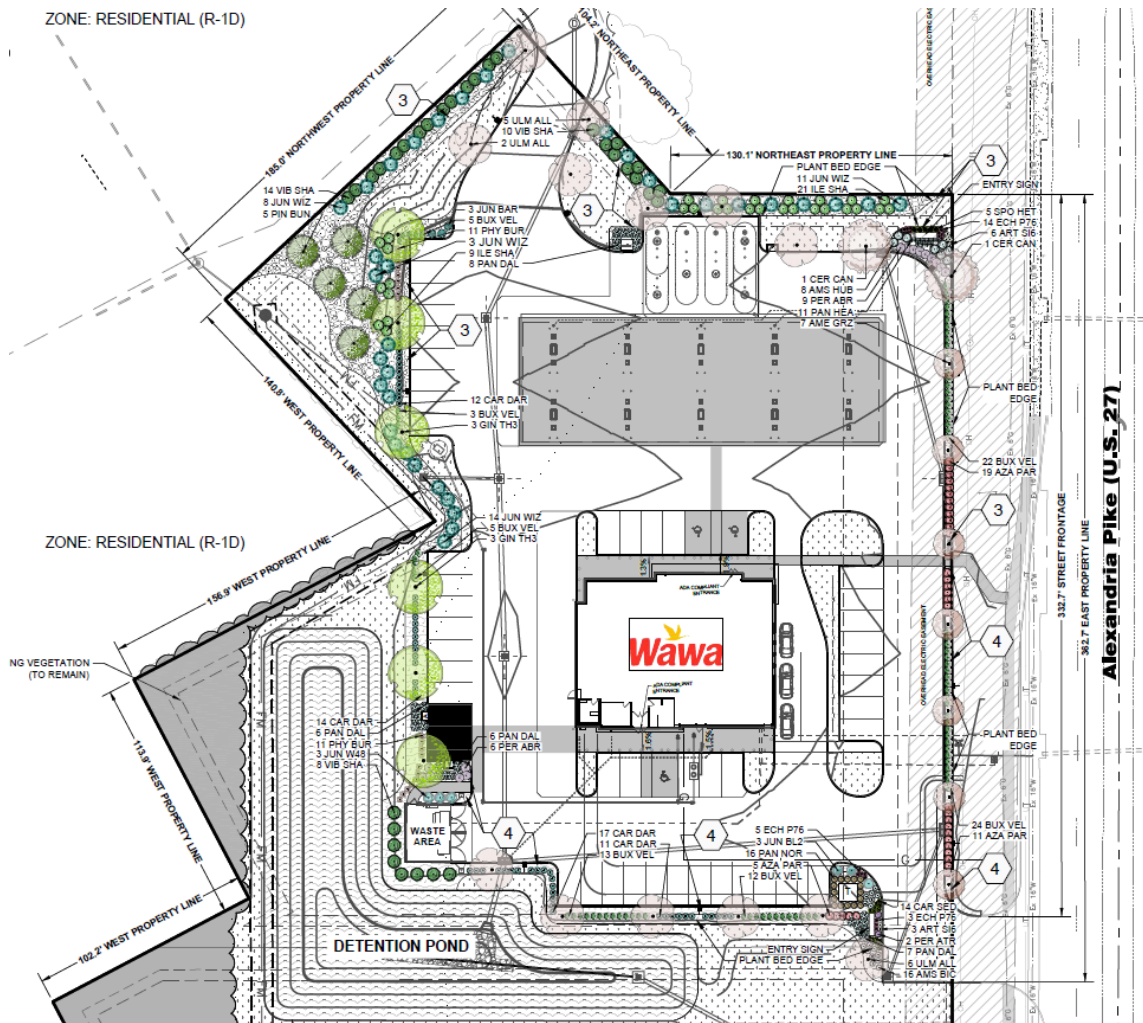
Based upon the volume of traffic generated by the development and the amount of traffic forecasted for the year 2034, there will be an impact to the existing highway network but the intersections will operate an acceptable level of service.

A right-turn lane will be required at the entrance on Alexandria Pike, US 27.

The signal timing for the A.M. peak hours should be monitored to determine if it is appropriate to add green time for KY 10.

KYTC is still completing its final review of this Study.

- G. Existing topography and the proposed finish grade of the development area shown by contours with intervals not larger than two (2) feet is indicated. A geotechnical report was provided.
- H. No housing is proposed on the site.
- I. A 6,372 square-foot building is proposed as the primary use of the site as a convenience store. Exterior elevations of all proposed buildings including exterior facade materials have been provided.
- J. No common open space or recreation areas are proposed.
- K. A landscape plan was included.

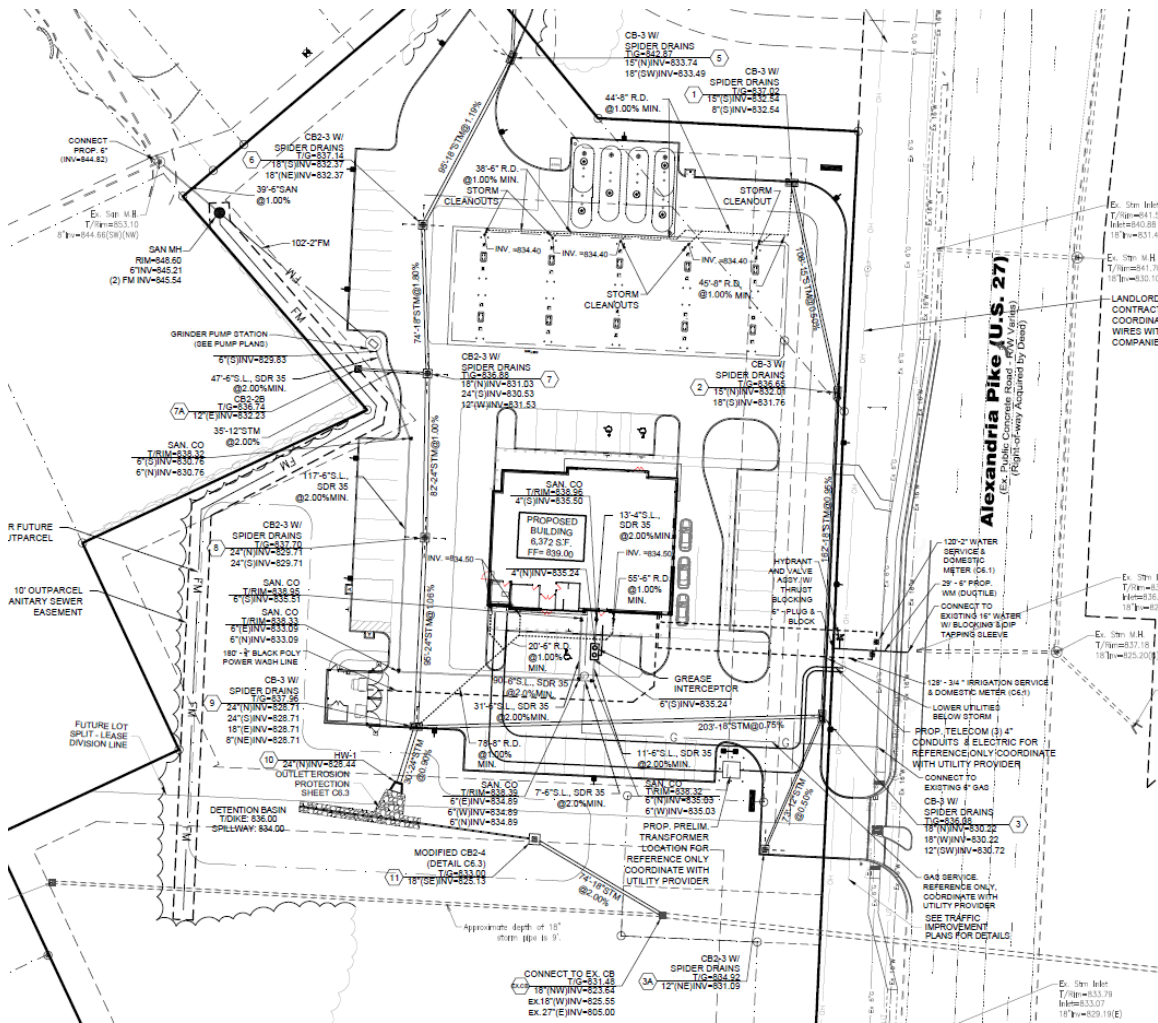


## PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<u>DECIDUOUS TREES</u>				
GIN TH3	Ginkgo biloba 'Presidential Gold' / Presidential Gold Maidenhair	B & B	2.0" Cal	6
ULM ALL	Ulmus parvifolia 'Allee' / Allee Lacebark Elm	B & B	2.0" Cal	13
<u>EVERGREEN TREES</u>				
JUN WIZ	Juniperus scopulorum 'Wichita Blue' / Wichita Blue Juniper	B & B	8" Ht.	36
PIN BUN	Pinus bungeana / Lacebark Pine	B & B	6" Ht.	5
<u>ORNAMENTAL TREES</u>				
AME GRZ	Amelanchier x grandiflora 'Autumn Brilliance' / Multi-Stem A.B. Serviceberry	B & B	2.0" Cal	7
CER CAN	Cercis canadensis / Eastern Redbud	B & B	2.0" Cal	2
<u>ANNUALS AND PERENNIALS</u>				
AMS BIC	Amsonia x 'Blue Ice' / Blue Ice Bluestar	3 gal	Clump	16
<u>ANNUALS/PERENNIALS</u>				
AMS HUB	Amsonia hubrichtii / Arkansas Blue-star	2 gal	Clump	8
ART SI6	Artemisia schmidtiana / Silver Mound Artemisia	2 gal	Clump	9
ECH P76	Echinacea x 'Pow Wow Wild Berry' / Pow Wow Wild Berry Coneflower	3 gal	Clump	22
PER ATR	Perovskia atriplicifolia / Russian Sage	2 gal		2
PER ABR	Perovskia atriplicifolia / Russian Sage	3 gal	Clump	14
<u>DECIDUOUS SHRUBS</u>				
AZA PAR	Azalea x 'Weston's Parade' / Azalea	5 gal	30" Ht.	35
CAR DAR	Caryopteris x clandonensis 'Dark Knight' / Blue Mist Shrub	5 gal	30" Ht.	54
PHY BUR	Physocarpus opulifolius 'Burgundy Candy' / Burgundy Candy Ninebark	5 gal	30" Ht.	22
VIB SHA	Viburnum plicatum tomentosum 'Shasta' / Shasta Japanese Snowball	5 gal	30" Ht.	32
<u>EVERGREEN SHRUBS</u>				
BUX VEL	Buxus x 'Green Velvet' / Green Velvet Boxwood	B & B	18" Ht.	84
ILE SHA	Ilex glabra 'Shamrock' / Inkberry	B & B	18" Ht.	30
JUN BL2	Juniperus conferta 'Blue Pacific' / Blue Pacific Juniper	3 gal	15" Ht.	3
JUN W48	Juniperus scopulorum 'Wichita Blue' / Wichita Blue Juniper	B & B	6" Ht.	3
<u>ORNAMENTAL GRASSES</u>				
PAN DAL	Panicum virgatum 'Dallas Blues' TM / Dallas Blues Switch Grass	5 gal	Clump	26
PAN HEA	Panicum virgatum 'Heavy Metal' / Blue Switch Grass	2 gal	Clump	11
SPO HET	Sporobolus heterolepis / Prairie Dropseed	2 gal	Clump	5
<u>ORNAMENTAL GRASSES &amp; GROUNDCOVERS</u>				
CAR SED	Carex pensylvanica / Pennsylvania Sedge	2 gal	Clump	14
JUN BAR	Juniperus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	2 gal	Clump	3
PAN NOR	Panicum virgatum 'North Wind' / Northwind Switch Grass	2 gal	Clump	16

L. Signage is anticipated. This must be permitted separately.



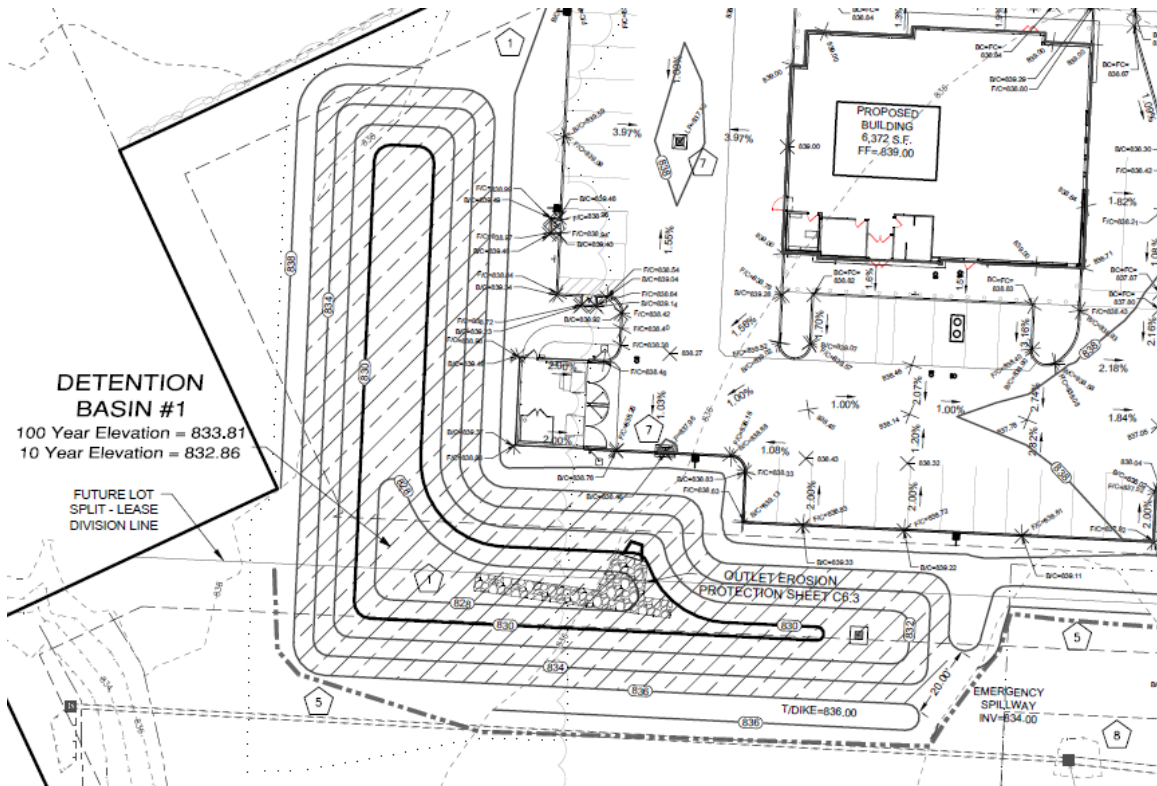


M. All existing and proposed water lines, sanitary sewer lines, and stormwater facilities are shown and are subject to review by the applicable agency.

N. A drainage plan of the area is provided. The existing stormwater detention is under review by SD1.

# UTILITY CONTACTS

<p><b>SEWER</b> SANITATION DISTRICT NO. 1 (SD1) 1045 EATON DR. FORT WRIGHT, KY, 41017 ATTN: ANDY AMAN (859)-578-6880</p> <p><b>WATER</b> NORTHERN KENTUCKY WATER DISTRICT (NKWD) 72835 CRESCENT SPRINGS RD. FORT WRIGHT, KY 41017 ATTN: GREG NAPIER (859)-578-9898</p> <p><b>GAS</b> DUKE ENERGY 1262 COX AVE ERLANGER, KY 41018 ATTN: WADE BEGLEY (859)-534-4453</p>	<p><b>ELECTRIC</b> DUKE ENERGY 1262 COX AVE ERLANGER, KY 41018 ATTN: KELSEY GOETZ (859)-404-1222</p> <p><b>TELEPHONE</b> ALTA FIBER 221 E. FOURTH ST, 121-900 P.O. BOX 2301 CINCINNATI, OHIO 45201 ATTN: JASON NUNNELLEY (513)-565-1418</p>
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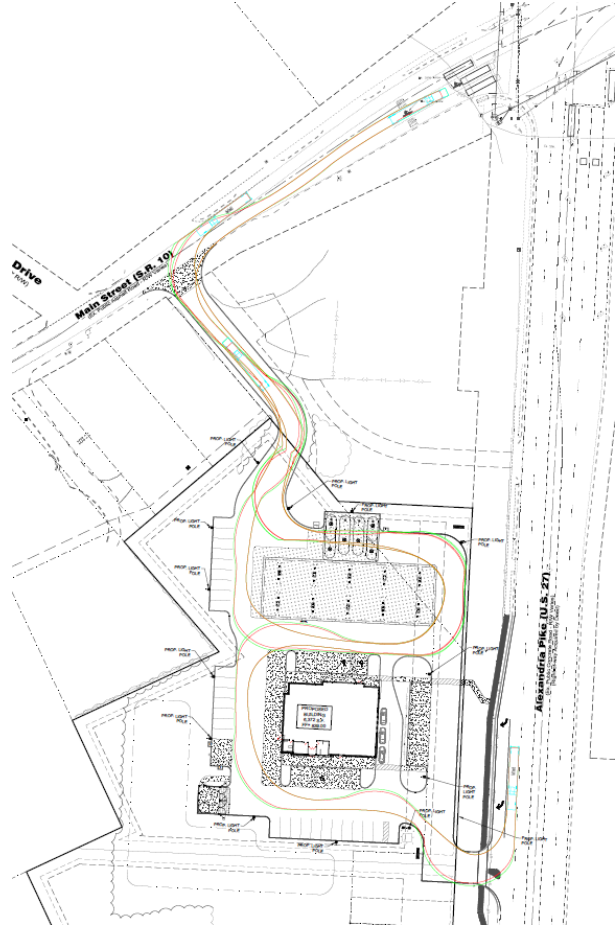
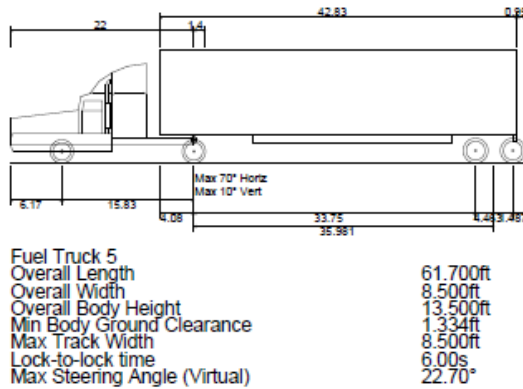


- O. Location and dimension of all curb cuts, driving lanes, off-street parking and loading and/or unloading areas are shown on the plans. Pavement types vary per plan.

The plan indicates that there will be an entrance located along Alexandria Pike (US 27). The City Engineer noted that this limited access point will allow for vehicle from both north and south to enter but will restrict exiting to right turns heading south. There will be a median at the access point that will help prevent vehicles from making a left turn at this point. Per supporting the documents, the median will be raised, but the plan does not specifically call this out as a raised median.

*The applicants amended response states that a raised median is to be constructed per KYTC Type 1 mountable median. The Alexandria Pike (US 27) & Main Street (KY 10) Roadway Improvement. Plans which detail the raised median will be submitted to KYTC soon. A copy of those drawings will be provided to you upon submission to KYTC.*

- P. A turning analysis was completed based upon the length of a fuel truck. Concern was expressed regarding an encroach slightly into the City Building parking lot. As requested, these plans were revised to increase this curb radius from 25ft to 35ft to reduce utilization of West Main Street for larger vehicles using the access.



The City Engineer noted that, the turning movement exhibit provided shows that a southbound fuel truck would need to turn from the through lane to turn into the site at the US 27 access point. The turning movement also requires that the vehicle drive over the raised median. Based on these facts, it is likely that larger vehicle such as the fueling trucks and emergency vehicles would enter from the full access point on W. Main Street (KY 10). However, the raised median should be of sufficient thickness to allow for these large vehicles to travel across without immediately breaking. A detail of the raised median should be provided.

*As noted above, the raised median is to be constructed per KYTC Type 1 mountable median.*

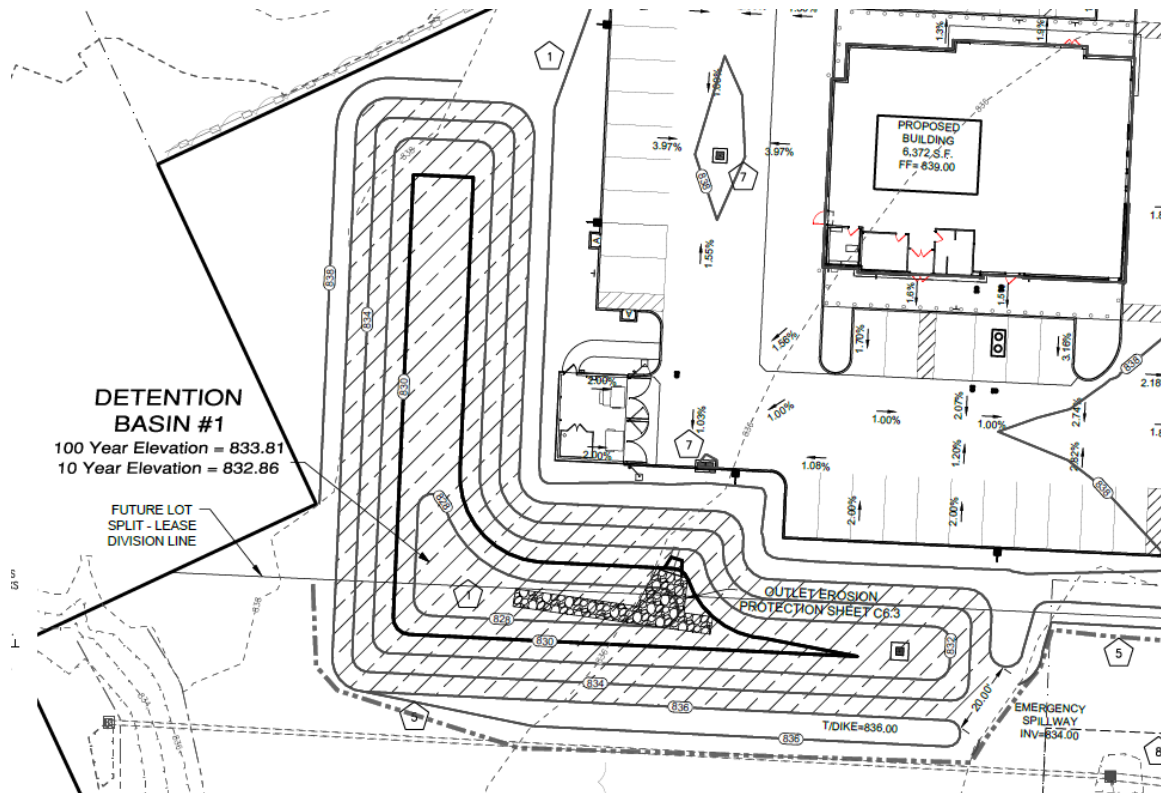
Q. The required parking was determined based upon the use of the structure. Fifty-four (54) spaces are provided.

# PARKING SPACES	50 PARKING SPACES
# ADA PARKING SPACES	3 PARKING SPACES
# TRUCK/OVERSIZED PARKING	1 PARKING SPACE

### R. Circulation System:

1. Pedestrian walkways are indicated along the building as indicated on the plan.
2. No new streets are proposed. Parking area layout is indicated on the plans.

S. An erosion and sediment control plan is included in the plan. A shared detention basin is planned between the two out parcels.

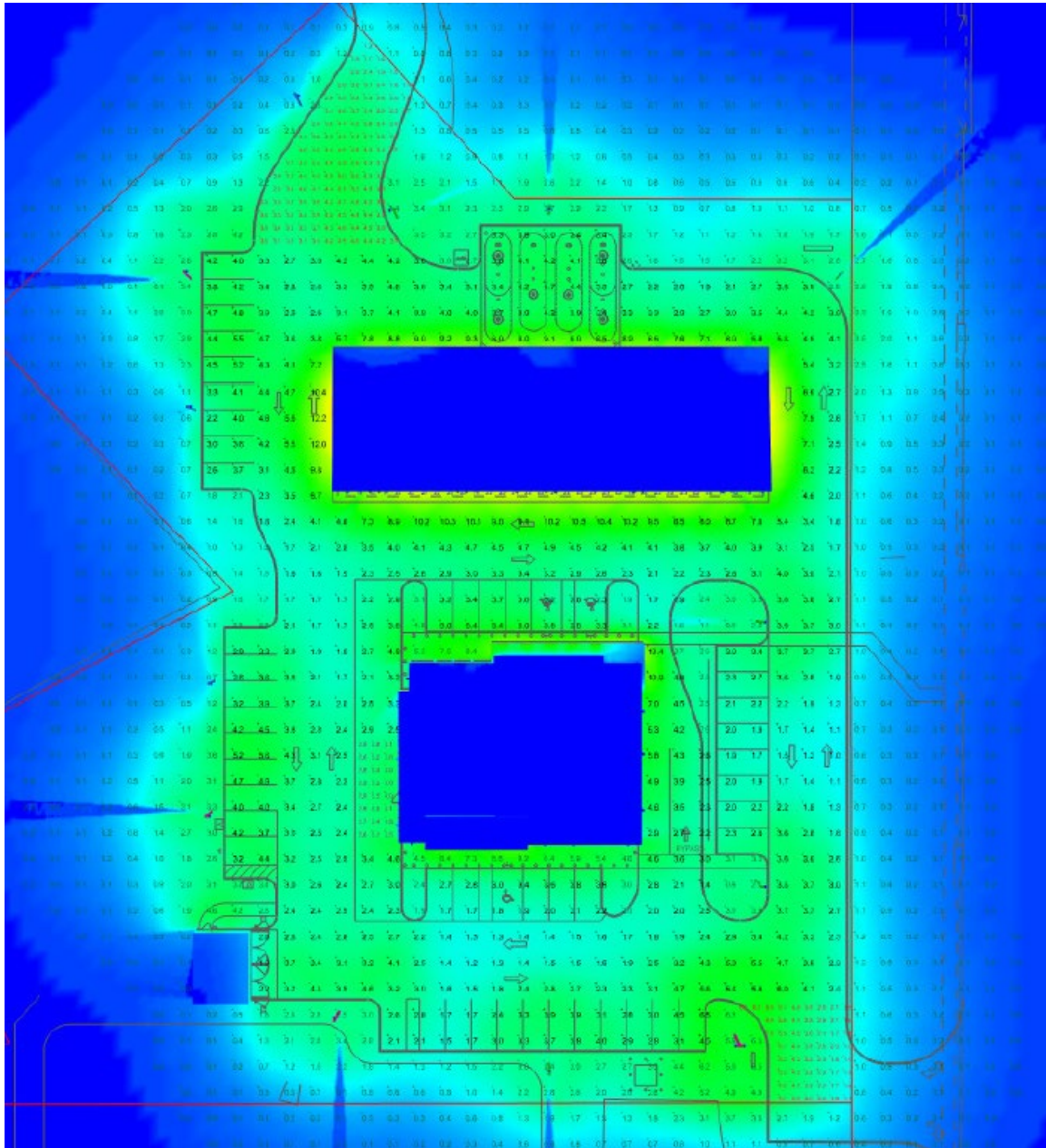


T. A lighting plan has been provided. We note that the site will be well lit. Concern regarding light from the site shining onto surrounding residential properties was noted to the applicants engineer.

The proposed LED light typically provides more directionally directed lighting. Revisions were made to help reduce the amount of light being directed to the



residential property. The light along the eastern edge that shined west towards the residential properties were relocated to inner median locations and turn to shine towards the east. While these lights were the farthest away from the residential properties, the modification should provide some benefit.



- U. Dumpster storage location with provisions for screening were indicated on the site plan.
- V. Contact information for civil engineer and developer is provided.
- W. The date of preparation of the plan is shown as 05/17/2024.
- X. A schedule of development was provided. Planned completion is 08/01/2025.

**Summary of Applicant's Request:**

The applicant has submitted a request for approval of site plan.

**Staff Recommendation:**

To approve the proposed site development plans subject to final engineering reviews from the city engineer, utility agencies and KYTC.

**Supporting Information / Basis for Recommendation:**

1. The plan has been reviewed and found to be in general compliance with Article IX, Section 9.19.
2. The proposed site development plan is consistent with the Zoning Ordinance Article X, Section 10.8.
3. Proper legal notice has been given for a site development plan.

NOTE: No variance or waiver have been requested or granted. No sign review or approval has been granted. This will be completed as part of the building permit review.

If you have any questions concerning this report, please feel free to contact Campbell County Planning and Zoning at 859-292-3880. Thank you.

Respectfully submitted,

  
Cindy Minter, AICP CFM  
Director